

BANFF AND BUCHAN AREA COMMITTEE

TUESDAY, 12 MARCH 2024 at **9.30 am**

Your attendance is requested at a meeting of the BANFF AND BUCHAN AREA COMMITTEE to be held in VIRTUAL MEETING - TEAMS, on TUESDAY, 12 MARCH 2024, at 9.30 am

This meeting will be live streamed and a recording of the public part of the meeting will be made publicly available at a later date.

Wednesday, 6 March 2024

Angela Keith, Area Manager Banff and Buchan

To: Councillors D Mair (Chair), R Menard (Vice-Chair), J Adams, S Adams, A Bell, R Cassie, J Cox, M Findlater, S Logan, and G Reynolds

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BUSINESS

1	Sederunt and Declaration of Members' Interests			
2(A)	Public Sector Equality Duty Consider, and if so desired, adopt the following resolution:-			
	(1) to have due regard to the need to:-			
		(a)	eliminate discrimination, harassment and victimisation;	
		(b)	advance equality of opportunity between those who share a protected characteristic and persons who do not share it; and	
		(c)	foster good relations between those who share a protected characteristic and persons who do not share it; and	
	(2)	consid	e an Integrated Impact Assessment is provided, to der its contents and take those into account when ing a decision.	
2(B)	Exempt Information Consider, and if so decided, adopt the following resolution:- "That under Section 50A (4) and (5) of the Local Government (Scotland) Act 1973, as amended, the public and media representatives be excluded from the meeting for Item 11 of business below, on the grounds that it involves the likely disclosure of exempt information of the class described in the relevant paragraphs of Part 1 of Schedule 7A of the Act."			
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11	Annual Procurement Plan for Education and Children's Services Directorate - Procurement Approval		241 - 263			
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Report by the Director of Business Services						
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Description of Exempt Information

Paragraph 8 – Estimated Expenditure on Contracts – Expenditure to be incurred by the Council under a contract for acquisition of property or supply of goods or services.

PUBLIC SECTOR EQUALITY DUTY – GUIDANCE FOR MEMBERS What is the duty?

In making decisions on the attached reports, Members are reminded of their legal duty under section 149 of the Equality Act 2010 to have due regard to the need to:-

- (i) eliminate discrimination, harassment and victimisation;
- (ii) advance equality of opportunity between those who share a protected characteristic and persons who do not share it; and
- (iii) foster good relations between those who share a protected characteristic and persons who do not share it.

The "protected characteristics" under the legislation are: age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; and (in relation to point (i) above only) marriage and civil partnership.

How can Members discharge the duty?

To 'have due regard' means that in making decisions, Members must consciously consider the need to do the three things set out above. This requires a conscious approach and state of mind. The duty must influence the final decision.

However, it is not a duty to achieve a particular result (e.g. to eliminate unlawful racial discrimination or to promote good relations between persons of different racial groups). It is a duty to have due regard to the need to achieve these goals.

How much regard is 'due' will depend upon the circumstances and in particular on the relevance of the needs to the decision in question. The greater the relevance and potential impact that a decision may have on people with protected characteristics, the higher the regard required by the duty.

What does this mean for Committee/Full Council decisions?

Members are directed to the section in reports headed 'Council Priorities, Implications and Risk". This will indicate whether or not an Integrated Impact Assessment (IIA) has been carried out as part of the development of the proposals and, if so, what the outcome of that assessment is.

An IIA will be appended to a report where it is likely, amongst other things, that the action recommended in the report could have a differential impact (either positive or negative) upon people from different protected groups. The report author will have assessed whether or not an IIA is required. If one is not required, the report author will explain why that is.

Where an IIA is provided, Members should consider its contents and take those into account when reaching their decision. Members should also be satisfied that the assessment is sufficiently robust and that they have enough of an understanding of the issues to be able to discharge their legal duty satisfactorily.

For more detailed guidance please refer to the following link:https://view.officeapps.live.com/op/view.aspx?src=https%3A%2F%2Fwww.equalityhu manrights.com%2Fsites%2Fdefault%2Ffiles%2Ftechnical_guidance_psed_scotland. docx&wdOrigin=BROWSELINK

BANFF AND BUCHAN AREA COMMITTEE

TUESDAY, 20TH FEBRUARY, 2024

Present: Councillors D Mair (Chair), R Menard (Vice-Chair), J Adams, S Adams, A Bell, R Cassie, J Cox, M Findlater, S Logan, and G Reynolds.

Officers: Angela Keith, (Area Manager, Banff and Buchan);Rob McIntosh, (Principal Solicitor – Developer Obligations and Infrastructure); Piers Blaxter, (Team Leader, (Planning Policy)); Lindsey Geddes, (Senior Planner); Jim Martin, (Senior Planner); Amanda de Candia, (Solicitor); and Jan McRobbie, (Area Committee Officer, Banff and Buchan).

In attendance:

Inspector Steven McDonald, Area Commander North Aberdeenshire, Police Scotland.

1 SEDERUNT AND DECLARATION OF MEMBERS' INTERESTS

The Chair asked Members if they had any interests to declare, in terms of the Councillors' Code of Conduct.

There were no declarations of interest.

2 PUBLIC SECTOR EQUALITY DUTY

In taking decisions on the undernoted items of business, the Committee **agreed**, in terms of Section 149 of the Equality Act 2010:-

- (1) to have due regard to the need to:-
 - (a) eliminate discrimination, harassment and victimisation;
 - (b) advance equality and opportunity between those who share a protected characteristic and persons who do not share it; and
 - (c) foster good relations between those who share a protected characteristic and persons who do not share it, and
- (2) to consider, where an Integrated Impact Assessment has been provided, its contents and to take those into consideration when reaching a decision.

3 POLICE SCOTLAND - PERFORMANCE MONITORING AND OPERATIONAL UPDATE

There had been circulated a report dated 18 January by the Interim Director of Business Services, advising Members of how the police service is performing against key performance measures and associated targets, as set out in the Aberdeenshire Police Plan 2023-26, as approved by the Communities Committee.

The Chair, on behalf of the Committee, welcomed Inspector Steven McDonald, Area Commander North Aberdeenshire, Police Scotland, to the meeting.

Members heard from Inspector McDonald details of Police Scotland's delivery, from April 2023 to September 2023, on the six local priorities as identified in the Aberdeenshire Police Plan, with a particular emphasis on the Banff and Buchan area.

Inspector McDonald confirmed that this was the first iteration of the new area performance reporting, relying on data released by Police Scotland, and spoke of challenges in supporting mental health, where only one in five calls to the police resulted in a police report; of the area's above average performance in supporting and protecting victims of domestic abuse, directly and in partnership with other agencies; progress with the new Scottish model for child interviews, reducing trauma and providing better engagement; the Four D strategy in pursuit of county lines drug crime and the success of Operation Protector, including over 411 safeguarding visits and engagement with over 600 people at the various support hubs; of drug supply detections up 30% on the previous year; of the increase in antisocial behaviour, violence, and disorder compared to the previous year, but lower than the five year average, with the deployment of community officers in schools allowing the development of positive relationships and the ongoing engagement with licenced premises; of ongoing partnership work to achieve zero road fatalities, with a decrease from the previous year in both fatalities and serious injuries; and of acquisitive crime similar to the previous year, but an 18% reduction in fraud, especially electronic fraud, with the continued partnership working on public awareness, and increasing success for the cyber-enabled crime team in its fast interventions, being able to freeze and then retrieve funds which would previously have been lost to the victims of fraud. Whilst there were no concerns for counterterrorism in Banff and Buchan, the North Division continued to work in partnership arrangements for the St Fergus Gas Plant and Peterhead Power Station in Buchan.

There was discussion of the potential impact on recruitment of an additional investment and Members were advised that a proportion of the new recruits to the Police College would be allocated to the area, to address the current shortfall, but that numbers were yet to be confirmed. The removal of the pause on recruitment had been welcomed. In addition, Inspector McDonald spoke of the ongoing campaign for local recruitment, especially in rural areas.

Questions were asked on the processes to ensure that coercive domestic abuse, difficult to evidence, was pursued through the court system and assurances were provided on the tiered response options, ongoing interaction with agencies such as Grampian Woman's Aid and Rape Crisis, and the changes in legislation which made corroboration easier.

It was noted that greater clarify might be provided in the charts to highlight where figures reported were percentages.

Having considered the performance monitoring information as detailed in the Appendix to the report, the Committee **agreed**:-

(1) to welcome the report, noting the change from previous Police Scotland Performance presentation; and

(2) to note the Communities Committee request of the Divisional Commander to continue to report to Committee on performance measures against service objectives.

4 MINUTE OF MEETING OF 30 JANUARY 2024

There had been circulated and was **approved** as a correct record the Minute of Meeting of the Banff and Buchan Area Committee of 30 January 2024

5 STATEMENT OF OUTSTANDING BUSINESS

A report by the Area Manager was circulated detailing the items of outstanding business as at 13 February 2024.

Members heard from the Area Manager of the recommendation that Item 3, Housing Management Policy: Condensation, damp, and mould, be dismissed, following the informal session held on 13 February 2024.

The Committee agreed:-

- (1) that Item 3, Housing Management Policy: Condensation, damp, and mould be dismissed, having been assured at the informal session held on 13 February 2024; and
- (2) in all other respects to note the items of outstanding business as at 20 February 2024.

6 APP/2023/1109 - FULL PLANNING PERMISSION FOR ERECTION OF DWELLINGHOUSE AT LAND AT NETHER CORTES FARM, FRASERBURGH REFUSE

There had been circulated a report dated 2 February 2024 by the Director of Environment & Infrastructure Services, requesting Members' consideration of an application following a site visit, for Full Planning Permission for Erection of Dwellinghouse at Land at Nether Cortes Farm, Fraserburgh, recommended for refusal as contrary to the Local Development Plan and National Planning Framework 4.

The Committee were advised that a request to speak had been made by Craig Fyvie, Baxter Design, on behalf of the applicant, and **agreed** to hear Mr. Fyvie.

Members heard from Mr. Martin, Senior Planner, of the site visit held on 13 February to the site, proposed as the location for a retirement succession house relating to the viable farming unit. He spoke of the elevated site, at a location 340 metres remote from the current farm hub, with a visual separation from the hub and also prominent when viewed from the A952. The application was therefore recommended for refusal as not meeting the required criteria of Policy R2 of the Local Development Plan and Policy 17 of the National Planning Framework.

There being no questions for officers, the Committee heard from Mr. Fyvie, agent, on behalf of the applicant. He stressed that although the report found the site to be

prominent, the design was noted as acceptable. From questions raised but not addressed at the site visit, Mr. Fyvie confirmed that the farm was 66 ha, and followed a system of crop rotation for its arable fields. A water main was accessible and Scottish Water had accepted the request to connect, and connection to mains electricity (SSE) was also possible.

Questions were asked of Mr. Fyvie regarding the location of the site in relation to the existing farm buildings; whether there had been any consideration of alternative sites less remote to the hub itself; the proportion of farm given over to livestock; and the status of the agricultural ground; and the apparent contradiction between the classification as retirement house in terms of the planning policy, but its requirement to have an operational overview over the fields of the farm.

There being no further questions, Mr. Fyvie confirmed that he had had a fair hearing.

There was discussion of the definition of immediate vicinity in terms of Policy R2 of ADLP23; the requirement for any retiring farmer to remain connected to the operation of the land; and the prominence of the new house at its elevated location, and options for mitigation by condition, were the application to be approved.

Members confirmed they had sufficient information to determine the application.

The Committee **agreed** to Delegate, to the Head of Planning and Economy, subject to appropriate conditions, including the approval of a scheme of landscaping, the GRANT of Full Planning Permission, as an acceptable Departure from Policy R2: Development Proposals Elsewhere in the Countryside, of ALDP23, and Policy 17: Rural homes, of NPF4.

7 APP/2023/0562 - FULL PLANNING PERMISSION FOR ERECTION OF 35 DWELLINGHOUSES AND ASSOCIATED INFRASTRUCTURE AT LAND TO THE NORTH OF CAIRN CLOSE, MEMSIE, FRASERBURGH DELEGATED GRANT

There had been circulated a report dated 6 February 2024 by the Director of Environment and Infrastructure Services, requesting Members' consideration of an application for Full Planning Permission for the Erection of 35 Dwellinghouses and Associated Infrastructure at Land to the North of Cairn Close, Memsie, Fraserburgh, recommended for delegated grant.

Members heard from Miss Geddes, Senior Planner, details of the siting of the proposal, on a relatively flat area of agricultural ground, close to the Doolie Burn, adjacent to, and sharing the current access of, an existing development by the same developer, with a scheme of landscaping proposed to mitigate the site, including its currently exposed northern side. Services were to be provided, including foul water drainage, with the upgrading of the current water treatment plant to be adopted by Scottish Water. Miss Geddes spoke of the detail of the proposed houses, following a variety of styles and pallet of materials, echoing those in the existing development at Cairn Close, and the network of paths, landscaped areas, and play area proposed on site. Offsite provision was to be made for bus stops with shelters, and a road crossing, with existing roadside footways extended to include the new bus stops.

Whilst the Local Development Plan 2023 had allocated an indicative 20 houses, policy allowed the consideration of more houses. These were presented as smaller sized

and were considered appropriate to the site. A viability statement from the developer had been accepted by officers, as exceptional circumstances, which would allocate a lower contribution to affordable housing as a commuted off-site payment. Developer obligations would have been sought towards healthcare and sports provision, but in this instance, it was accepted that no Developer Obligation monies would be pursued. Miss Geddes stressed that were the financial markets to change at any point, the Developer Obligations contributions could be reassessed.

Questions were asked of officers regarding the protocol for sharing a recent email with the Committee and following an adjournment, legal advice was given by Mrs De Candia, Solicitor.

Questions were asked of officers as to why the viability statement was withheld, being advised this was at the developer's specific request; the timescale for adoption of the water treatment plant, required before house occupation; the process for financial market monitoring and clawback of additional Developer Obligation monies, if appropriate; potential flooding issues from the Doolie Burn; safety and access issues on the proposed playground.

Members agreed they did not have enough information to determine the application and **agreed** to DEFER consideration of the matter for a site visit in order to consider the proposed access roads; proximity of play area; landscape; impact of Doolie Burn; and potential flooding.

8 APP/2023/1891- FULL PLANNING PERMISSION FOR ERECTION OF DWELLINGHOUSE AT LAND AT NETHER BLAIRMAUD, BOYNDIE, BANFF REFUSE

There had been circulated a report dated 6 February 2024 by the Director of Environment and Infrastructure Services, requesting Members' consideration of an application for Full Planning Permission for the Erection of a Dwellinghouse at Land at Nether Blairmaud, Boyndie, Banff, recommended for refusal as contrary to the Local Development Plan and National Planning Framework 4.

Members heard from Mr. Martin, Senior Planner, of corrections to be made to the summary of the application on the title page of the report, and its description in Paragraph 9.2 of the report: the application was a departure from the Local Development Plan and had been advertised as such.

He spoke of the proposed house, on which no representations had been made, with the sole consultee response being proposed Roads conditions, should the application be approved. The application complied in principle with policies R2 of the Local Development Plan 2023, and 17 and 29 of NPF4 in so far as a case had been made for an essential worker, but the location was not at the farm hub, being 80 metres to the north, with a visual separation between the two.

Questions were asked of officers regarding the ownership of land to the left and right of the existing farm hub; whether there had been discussions with the applicant about an alternative site, closer to the farm hub; the justification for having an essential worker's house close to existing farm operations, given changes in farming practice; noise from the farm impacting on the dwelling; and the total size of the farm.

There was discussion of the acceptable proximity distance from the hub, given the policy gave no specific measurements; and the ambiguity of "immediate vicinity."

Members confirmed they had sufficient information to determine the application.

The Committee **agreed** to Delegate, to the Head of Planning and Economy, the GRANT of Full Planning Permission, subject to appropriate conditions, for the reasons that 80 metres is considered within the immediate vicinity of the existing farm hub, and therefore the application conformed with ALDP 2023 Policy R2 Development Proposals Elsewhere in the Countryside and NPF4 Policy 29 Rural development.

9 ABERDEENSHIRE DEVELOPMENT PLAN SCHEME 2024

There had been circulated a report dated 8 January 2024 by the Director of Environment and Infrastructure Services requesting Members' consideration of the Draft Local Plan Development Scheme, presenting the timetable and participation statement for the Local Development Plan anticipated to be adopted in 2029. Comments from Area Committees and public engagement were to be presented to the Infrastructure Services Committee on 16 May 2024 for approval of the Scheme.

Members heard from Mr. Blaxter of the outcome of engagement to date; slippage in timing of the publication of topic papers, now anticipated to be concluded by June 2024; evidence reports scheduled to be presented to Full Council in January 2025; the next stage of the plan, being the call for bids and ideas to start in early 2025, building on existing work by communities to develop Community Action Plans and other action plans; the need to address climate change and biodiversity; and the proposed establishment of youth fora in schools to increase valid engagement with youth.

There was discussion of the requirement to include renewable opportunities, and the overlap with Investment Zones, noting that energy projects were retained by Scottish Government as a national issue; the potential to identify concentrations of energy related development in National Planning Framework (NPF)4; the current status of the topic papers; the need to consider the Housing Strategy, anticipated to be submitted to Council in October 2024, in the new Local Development Plan; the need for the coastal policy to be reviewed; the requirement to have additional weighting to sites for health centres and other infrastructure; reconsideration of the definition of "immediate vicinity" in the context of housing for essential workers on a farm site; the location of future infrastructure being informed by the spatial strategy arising from the evidence reports, with the ideal being an accommodation of development without further investment; and the need to have cognisance of Local Place Plans as they evolved.

The Committee **agreed** that the Infrastructure Services Committee be urged to consider that the process needs to be timely.

Arising from consideration of the above, the Committee **agreed** that the undernoted comments be considered in the development of the content of the Local Development Plan when appropriate:-

(1) to note that matters about renewables have been retained as national issues by the Scottish Government in NPF4;

- (2) to note that the Coastal Zone policy may be reviewed to significantly reduce the area included (previously from coast to nearest trunk road);
- (3) to request that the definition of criteria around essential workers and "vicinity" in terms of Policy R2 be considered; and
- (4) noting that spacial strategy arising from evidence reports will follow principle of Infrastructure First, to request that additional weight to be given to siting of surgeries etc as essential infrastructure.

Banff and Buchan Area Committee Statement of Outstanding Business as at 5 March 2024

	of BBAC em No.	Original Report Title	Action Agreed	Progress to date	Responsible Officer	Date Expected
1. 6/1. (Ite	12/22 em 5)		thermal improvements to pre-1919 buildings.	Update briefing note or report on potential external funding provided via Ward Pages. Revised "Expression of Interest" to be submitted October 2023 for modified regeneration project which would incorporate grant scheme to improve energy efficiency but will focus on Peterhead Central Conservation Area properties. Project deferred pending conclusion of current Levelling Up work in Peterhead which will inform any future funding bid. Wrap up briefing to be shared with Members then recommend DISMISS.		12 March 2024.

2.	6/12/22	Pennan	Rerun of consultation	Consultation to start 3 April	Yvonne Tough,	Spring 2024
	,	Conservation Area Review		During this period, four	Environment Planner.	
				letters will be sent to all properties/property owners, providing the information required to participate in the consultation. Briefing shared with Members 13 October 2023. Revised timeline and additional public meeting to be held before report back		
				to Area Committee.		

Angela Keith, Area Manager, Banff & Buchan, 5 March 2024



Banff & Buchan Area Committee Report - 12 March 2024

Reference No: APP/2023/0562

Full Planning Permission for Erection of 35 Dwellinghouses and Associated Infrastructure at Land to the North of Cairn Close, Memsie, Fraserburgh

Applicant: Claymore Homes Ltd

Agent: No Agent

Grid Ref: E:397118 N:862655

Ward No. and Name: W03 - Fraserburgh And District

Application Type: Full Planning Permission

Representations: 7
Consultations: 14

Relevant Proposals Map Designations: Within Settlement

Allocated as OP2 – 20 homes

Complies with Development Plans: Yes

Main Recommendation: Delegated Grant



NOT TO SCALE

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1. Reason for Report

- 1.1 The Committee is able to consider and take a decision on this item in terms of Section B.8.1 of Part 2A List of Committee Powers and Section C.2.1 of Part 2C Planning Delegations of the Scheme of Governance as the application is for major development.
- 1.2 This application was deferred at the last meeting of the Banff and Buchan Area Committee on 20 February 2024 for a site visit. The site visit has now been carried out. In addition, the developers have now submitted an Executive Summary of the Development Viability Statement. The developers have requested that the content of the Executive Summary Report is only shared with Members and not shared onto the public domain due to the presence of commercially sensitive information.
- 1.3 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report and their comments are incorporated within the report and are satisfied that the report complies with the Scheme of Governance and relevant legislation.

2. Background and Proposal

- 2.1 This application seeks full planning permission for the construction of 35 dwellinghouses on land to the north of Cairn Close, Memsie. The site is located on the north west side of the existing settlement. A location plan is attached as **Appendix 1.** The site is 2.62ha and has a rectangular form.
- 2.2 The existing Claymore Homes development, Cairn Close, borders the site to the south and there are 2 existing dwellings over the eastern site boundary. There are agricultural fields to the north and west. There is an existing field ditch that follows the line of the western boundary, and the east boundary comprises rear garden boundaries (of the said dwellings) and open agricultural land.
- 2.3 The existing foul drainage treatment plant that serves the Cairn Close development and which would also serve the proposed development is sited in the north eastern portion of the site area. There are no existing shelter belts or trees within the site area and the site is fairly exposed from the north side. The land appears to have been used as a site compound/storage area whilst the Cairn Close development was under construction as evidenced by the presence of portacabins and storage containers in the western portion sited towards the northern site boundary. The existing site level is relatively flat within the site area but the land over the northern boundary gradually declines northwards towards the Doolie Burn which runs on an east - west course approximately 100m to the north. Site boundaries are depicted by post and wire fencing to the south and east and the north and west boundaries are open. There are 2 access gates in the locations of the proposed roadways that would serve the development from Cairn Close. A site plan is attached as Appendix 2.

- 2.4 The site comprises the OP2 site within the Memsie settlement statement of the Aberdeenshire Local Development Plan 2023 (ALDP) which is allocated for 20 houses. Further details of the OP2 requirements are detailed in the main body of the assessment.
- 2.5 The dwellings comprise a mix of open market semi-detached and detached houses, mainly 2 storey dwellings comprising 3,4 and 5-bedrooms comprising wall-head dormers along front elevations. There are 2 plots along the western side of the site that would be single storey with hipped roofs. Most of the house types contain integral garaging and small sunlounges off the rear elevations. All dwellings have solar PV panels proposed on the roof planes. The palette of materials comprises white drydash Nordic Spar with Cedar effect composite panelling coloured in slate grey. The roofs are to be smooth grey Marley Modern roof tiles, and windows/doors/fascias and soffits would be finished in anthracite grey, with black rainwater goods. The house types can be viewed at **Appendices 7-19** (inclusive).
- 2.6 In terms of layout, there is a centralised strip of open space (70m wide) that runs through the middle of the site on a north south course which would comprise amenity planting, communal seating, children's play equipment, cycle racks, and pathways. To the north east, it is proposed to plant up the existing embankments surrounding the waste water treatment plant with a mix of shrubs and tree planting on the flatter areas. The proposed soakaway for the road drainage would be planted in a meadow mix. In the south west corner, a small area of landscaping is also proposed on entrance to the development which also comprises seating. The landscaping plan for the site can be viewed at **Appendix 3**.
- 2.7 The proposed access to the site would be taken from the south via the existing Cairn Close development. The foul drainage system serving the development will drain to the waste water treatment plant onsite which has outfall to the Doolie Burn. This plant will be upgraded and thereafter adopted by Scottish Water. The surface water drainage is all to be disposed of within the site area by means of soakaways.
- 2.8 Outwith the site and on the land (that is under the applicant's control) over the northern site boundary it is proposed to plant mixed species hedging along the back of all rear garden boundaries along with trees. To the east of this area and running parallel to the A981 public road, it is proposed to plant a line of trees (species Aspen, Alder, Birch and Willow). A formalised hardcore path is proposed within this area that would connect the proposed development to the Doolie burn. There are also a series of proposed cut paths in this area to provide a short circular walking route around the field to the north. Tree planting is proposed along the Doolie Burn in 3 separate clusters along the buffer strip and a wet meadow mix is also proposed in this area to enhance biodiversity and amenity. It is proposed to install hibernacula (log piles) in the location of the buffer strip for amphibians and reptiles to use. The landscaping plan for this area can be viewed at **Appendix 4.** The phasing for implementation of the overall landscaping can be viewed at **Appendix 5.**

2.9 In terms of off-site infrastructure, 2 bus stops with shelters on either side of the A981, and a crossing point, are proposed to be installed along with extension of existing road side footways in the settlement to provide access to the new bus stops. The routes to the existing and proposed bus stops can be viewed at **Appendix 6.**

2.10 Planning history

The relevant planning history for the site is detailed below:

ENQ/2022/1864 Erection of 35 Dwellinghouses and Associated Infrastructure responded to on 09 February 2023 indicating that the proposed development does not accord with the Aberdeenshire Local Development Plan 2023 in its current form and would not be supported. However, amendments and updates could be provided to overcome initial concerns prior to the submission of a formal application. The enquiry response also identified the amount of supplementary information needed to support any forthcoming application including the submission of a Masterplan.

<u>ENQ/2022/1919 POAN</u> for the erection of 35 dwellings and associated infrastructure responded 11 January 2023.

Land to East

APP/2020/0395 Erection of dwellinghouse (PPP) approved 18-12-20 (time period for implementation has now expired). APP/2022/1969 MSC for Condition 1 on APP/2020/0395 application returned.

2.11 Supporting Information

A range of supporting information has been submitted with the application and is detailed below:

<u>Pre Application Consultation (PAC) Report (Claymore Homes) – February 2023</u>

Outlines the consultation requirements and the measures undertaken which included the undertaking of 2 public events that were advertised through a variety of media. A summary of consultation feedback is included with the PAC.

<u>Archaeological Written Scheme of Investigation (WSI) (Cameron Archaeology Group) – 25 March 2023</u>

Provides details of how the required WSI will be undertaken including the undertaking of trial trenching. It also details the requirements of any suitable post-excavation analysis and publication of discovered archaeological remains.

<u>Design and Access Statement (Claymore Homes) – March 2023 (amended November 2023)</u>

Provides an appraisal of the site, its context and sets out the development of the design and planning principles that have contributed to the evolution of the scheme. The statement was amended at the request of the Planning Service to incorporate a number of matters which includes biodiversity enhancement measures, access paths to the wider countryside, strategic landscaping and enhancement along the Doolie Burn corridor, and clarification on the treatment plant area.

<u>Drainage Statement (Cameron and Ross) – October 2022 (amended</u> February 2024)

Includes detail of the proposed surface and foul drainage infrastructure. The foul drainage will connect to a new gravity sewer which is proposed to be adopted by Scottish Water which will connect to the existing and improved sewage treatment plant. The surface water from the individual dwellings will be treated by means of soakaways within the individual plats/ permeable paving and the run-off from roads is to a soakaway within the site boundary. This report was amended to account for further trial pits and infiltration testing to be carried out at the request of Aberdeenshire Council Flood Prevention service.

Flood Statement (Cameron and Ross) - May 2023

Provides information on the suitability of the site for the proposed development and to identify any mitigation works required to address flood impact. The report concludes that the site is not at flood risk. Based on the findings of the flood risk statement it is stated that the proposed development can be undertaken in accordance with the National Planning Framework [NPF4] in relation to flood risk.

<u>Ground Investigation Report (Grampian Geotechnical) – 15 August 2023</u> The report provides the technical details on ground conditions at the site (soil samples, groundwater levels, contamination etc).

<u>Development Viability Statement (Ryden) – November 2022 (CONFIDENTIAL)</u>

The report provides information on viability and identifies unforeseen costs of the proposed development alongside a comparison of costs to be evaluated against projected value. The report concludes that excluding any developer obligations and affordable housing requirements that the level of developer profit and the forecast profit falls below the level of developer profit widely adopted by the house building industry. Given the commercial sensitivity, the developers have requested that the full viability report remains confidential and is not made available for Members. However, as noted in paragraph 1.2 above an Executive summary has now been provided to Members.

Road Access Summary Report (Cameron and Ross) – May 2023
Provides justification for access to be taken via the current access facilitating
Cairn Close off the B9032 which is in accordance with the current guidance

set out by Aberdeenshire Council Roads Development. Additional features over and above the minimum housing road requirements are provided in the form of emergency access and off-site the path and bus stop provisions.

3. Representations

- 3.1 A total of 7 valid representations (6 objection/ 1 neither objecting to nor supporting) have been received as defined in the Scheme of Governance. All issues raised have been considered. The letters raise the following material issues in objection:
 - Access for construction vehicles safety concern in relation to existing play area at Westcroft Close, school bus pick up/ drop off
 - Increase in traffic cause congestion and resultant mess and disruption to existing residents
 - Alternative access road should be provided
 - Factor fee for landscape maintenance would need to be taken over by the developer as construction vehicles will cause damage
 - Impact on quality of life of existing homeowners
 - Concerns of flooding in this area
 - No road or drainage details submitted along with the application
 - Concerns that the land may be unsuitable to support roadways
 - Ground condition tests should be undertaken given that the site was used as a borrow pit for the adjacent residential site and levels have been altered since survey in 2012
 - There are major problems with foul drainage at this site as there is no outfall – the existing sewage treatment plant is not fit for being adopted by Scottish Water
 - There is no sustainable outfall for the sewer or rainwater as the Doolie burn is seriously constrained by a culvert
 - The main reason this site was put forward over other sites in the ALDP was that it could be served by an adopted sewer but this has not been shown here. The developer falsely claimed that the existing plant was being adopted by Scottish Water
 - Concerns over primary school capacity

All other matters raised were not considered material to planning.

4. Consultations

Internal

4.1 **Business Services (Developer Obligations)** accepts the findings of the applicant's evidence that has been presented within the Viability Statement which is that any profit level is considered to be unachievable even with no developer obligation or affordable housing so it would be unlikely for the development to be fundable or to proceed in the current market. Following discussion between the Planning Service, Developer Obligations, Affordable Housing and the developer, the developers have offered up the provision of the equivalent of 4 units as a commuted sum equal to meeting 50% of the

affordable housing policy if a commuted sum is accepted. Affordable housing policy does provide for a lower level of affordable housing provision (than the standard 25% provision) and can also accept commuted sums instead of onsite provision in exceptional circumstances such as viability. Notwithstanding the viability position, and the fact that the figures within the viability assessment make no provision for any affordable sum figure, in order to comply with policy on affordable housing, a commuted sum payment to the equivalent of 4 units is an acceptable compromise in this case as it is unlikely any other developer would take this site on.

Developer obligations would have been sought for healthcare and sports and recreation but given the nature of the viability, it is accepted they can be dispensed with in this instance to prioritise affordable housing which again accords with policy provisions in terms of impact on viability. The commuted sum payment will be secured via a Section 75 agreement which will also provide for a clawback mechanism to cover both affordable housing and developer obligations if the financial circumstances were to change. Sight should not be lost of the fact that the land is allocated in the ALDP and the Planning Service seek to ensure that housing is delivered on the site particularly where we have a developer willing to take on a financially challenging site notwithstanding the viability issues.

- 4.2 **Education and Children's Services (Learning Estates)** indicate that the primary school catchment is Rathen School and secondary catchment is Fraserburgh Academy It has no objections.
- 4.3 **Environment and Infrastructure Services (Archaeology)** were consulted and have asked for an archaeological written scheme of investigation (WSI) to be included as a condition.
- 4.4 **Environment and Infrastructure Services (Built Heritage)** advise that the proposal does not impact on the setting of any historic asset deemed to be of architectural significance or historic importance and it has no objections.
- 4.5 **Environment and Infrastructure Services (Contaminated Land)** has no objections.
- 4.6 Environment and Infrastructure Services (Environmental Health) has no objections.
- 4.7 Environment and Infrastructure Services (Flood Risk and Coast Protection) has no objections to the development.
- 4.8 **Environment and Infrastructure Services (Natural Heritage)** commented on the revised proposed landscaping and notes that the landscaping is a significant improvement on the original proposals. There is a good mix of tree species, and the specific planting is varied to reflect the conditions e.g. more willow and poplar in wetter areas and near the burn, more birch, rowan etc where it is drier. The use of hedging along some of the boundaries rather than close board timber fencing will also improve the biodiversity of the

area. Biodiversity enhancement measures, such as the wildflower planting, cutting small holes in the close board fencing to allow hedgehogs etc to pass and creating log piles (hibernacula) near the burn for insects, reptiles as detailed within the design statement etc, are also welcomed. The biodiversity enhancement measures proposed are acceptable and will have biodiversity benefits provided they are implemented as outlined.

In terms of paths, the site is very constrained due to the surrounding land uses and the public roads, and the existing path network in Memsie is very limited due to this however the provision of paths into the proposed open space to the north of the site does provide some space for short walks.

- 4.9 Environment and Infrastructure Services (Roads Development) are satisfied with the proposals subject to technical details of Roads Construction Consent to ensure adequacy and compliance with their standards. It is satisfied with the supplementary information provided relating to off-site improvements to bus stop infrastructure and crossing point on the A981 and the footway linkage on the B9032. The essential infrastructure will be subject to S56 technical approval to be delivered prior to occupancy of any dwelling. It has no objections.
- 4.10 **Environment and Infrastructure Services (Waste Management)** does not object but draws the developer's attention to its approved waste collection procedures.
- 4.11 Housing Strategy (Affordable Housing) advise that in accordance with the Local Development Plan's Affordable Housing Policy, an affordable housing contribution of 25% is required where there are 4 or more dwellings in a new housing development. There is housing need in the Memsie area as supported by the Aberdeenshire Council waiting list 2023 and the Housing Need and Demand Assessment 2017. The Housing Service acknowledges the viability appraisal and on this occasion the Housing Service accept an affordable housing contribution in the form of a commuted sum in order to address housing need in this locale.

This commuted sum will need to be secured through a S75 agreement.

<u>External</u>

- 4.12 **NHS Grampian** initially asked for developer obligation contributions towards increasing the capacity of the existing health facilities in Fraserburgh. However, the viability position has been intimated to, and accepted, by NHS.
- 4.13 **Scottish Water** does not object to the application. It advises that the development will be fed from the Turriff Water Treatment Works but that a Pre Development Enquiry (PDE) is required. With regards to wastewater, the development will drain to the waste water treatment plant on site. Scottish Water confirm that the existing plant will be upgraded and provided it is built to standards and specifications as set out in Sewer for Scotland v4 and that it meets consents set out by SEPA, it will be adopted. Scottish Water confirms

that the upgrade will be dealt with as part of the application/audit/facilitation process once the technical applications have been submitted to them.

4.14 **SEPA** has no objections on grounds of flood risk.

5. Relevant Planning Policies

5.1 <u>National Planning Framework 4 (NPF4)</u>

Scotland's fourth National Planning Framework (NPF4) is a long-term plan looking to 2045 that guides spatial development, sets out national planning policies, designates national developments and highlights regional spatial priorities. It is part of the development plan, and so influences planning decisions across Scotland.

On 13 February 2023 (0900am) Scottish Ministers adopted and published National Planning Framework 4 (NPF4), meaning that it is in force and National Planning Framework 3 and Scottish Planning Policy are superseded from that date and time. This will also have the effect that all strategic development plans and any supplementary guidance issued in connection with them cease to have effect on that date. As such the Aberdeen City and Shire Strategic Development Plan 2020 has now ceased to have effect. The NPF4 now forms part of the development plan along with the Aberdeenshire Local Development Plan 2023

Policy 1: Tackling the climate and nature crises

Policy 3: Biodiversity

Policy 13: Sustainable transport

Policy 14: Design, quality and place

Policy 15: Local living and 20 minute neighbourhood

Policy 16: Quality homes

Policy 18: Infrastructure first

Policy 20: Blue and green infrastructure

Policy 21: Play, recreation and sport

Policy 22: Flood risk and water management

5.2 Aberdeenshire Local Development Plan 2023

On 13 January 2023 the Aberdeenshire Local Development Plan 2023 was adopted.

The following policies apply:

Policy H1: Housing Land

Policy H2: Affordable Housing

Policy P1: Layout, siting and design

Policy P2: Open Space and Access in New Development

Policy E1: Natural Heritage

Policy C4: Flooding

Policy RD1: Providing Suitable Services

Policy RD2: Developer Obligations

Settlement Statements - Banff and Buchan

Memsie - OP2 Land to North of Cairn Close is allocated for 20 homes. The accompanying text states that the site will extend the recently constructed housing development along Westcroft Close and Cairn Close. With regards to drainage, it is stated that due to limited flows in the receiving watercourse for the waste water treatment plant, additional private treatment for OP2 is unlikely to be feasible and it urges early discussion with Scottish Water in this regard.

The development should incorporate:

- New access onto the A981
- Provision of active travel
- New bus stop infrastructure A981 and associated footway links

The development should give consideration to:

- Landscape impact (especially from northern approach)
- The need for strategic planting along the Doolie Burn
- Cohesion and links with the adjacent development to the south

5.3 Other Material Considerations

The Chief Planner's letter confirms that legislation states that in the event of any incompatibility between a provision of NPF4 and a provision of an LDP, whichever of them is the latter is to prevail (Section 24(3) of the Town and Country Planning (Scotland) Act 1997). Where there is an incompatibility between these two documents, NPF4 should be the primary policy for determination.

<u>Draft Supplementary Planning Guidance on Developer Obligation and Affordable Housing August 2023.</u>

This guidance relates to both Policies RD1 Providing Suitable Services, and Policy RD2 Developer Obligations. The guidance states that the Aberdeenshire Council acknowledges that unforeseen costs can affect development viability and may take this into account dependent upon circumstances. There is a requirement for all developers to undertake a full viability appraisal at the outset of their development which considers all likely costs including developer obligations and affordable housing in accordance with Policy RD2 Developer Obligations and Policy H2 Affordable Housing of the ALDP 2023. Aberdeenshire Council cannot consider issues of viability where this has not been undertaken. For unforeseen costs to be considered, the developer is required to follow the procedure set out in Appendix 1 of the said Guidance. Appendix 1 states that it is only unanticipated costs which can generally be considered in viability assessments. If the exercise establishes there are viability issues with the development, the Council has to determine if the shortfall in the infrastructure and affordable housing requirements can be borne by the Council and/or its partners as ultimately the impact of the development will still need to be mitigated and paid for. Not all planning

applications can be made viable, and the developer may have to rethink the form of development proposed to achieve a deliverable development.

Circular 3/12 Planning Obligations and Good Neighbour Agreements
The circular (which provides further guidance on the provisions set out in legislation and NPF 4) states that planning obligations should only be sought where they meet all of the following tests: 1. necessary to make the proposed development acceptable in planning terms; 2. serve a planning purpose; 3. relate to the proposed development either as a direct consequence of the development or arising from the cumulative impact of development in the area; 4. fairly and reasonably relate in scale and kind to the proposed development; and 5. be reasonable in all other respects.

6. Discussion

6.1 In assessing this application, the key considerations relate to the principle of the development, siting, design and layout, and technical considerations.

Principle

6.2 In considering the principle of this development regard should be had to NPF4 Policy 16 Quality Homes and ALDP 2023 Policy H1 Housing Land. Both policies support development proposals for new homes on land allocated for housing. The site is allocated for 20 houses under the settlement statement for Memsie as defined in ALDP. This proposal breaches the allocation (20 houses) with the provision of 35 houses. Policy H1: Housing Land states:

Higher densities would only be considered where any associated negative impacts on infrastructure, open space and residential amenity can be addressed and where the development has been justified, including through an approved Masterplan or Design Statement that has been subject to appropriate public consultation.

6.3 However, under NPF 4, there is no requirement for sites that exceed the specified number of units in Local Development Plans to carry out a masterplan process. In addition to this, the site is of a relatively small scale. Masterplans are normally only necessary for developments in excess of 50 units. Given the site area being over 2 ha, the development has been the subject of the Major applications process including the associated public consultation events which is similar in nature to the Masterplan process. Taking account of the above factors, the undertaking of a Masterplan is not considered to be necessary in this case.

6.4 Extra Units and viability

In terms of justification for the extra units, the developers have indicated that as a result of Covid 19 and other factors that the housing market has been hit by political and economic uncertainty and rising mortgage rates. As a result of this, the demand is now for smaller sized dwellings as opposed to large houses. It goes on to say that there are significant infrastructure costs associated with the development as there are no public sewers in the vicinity

- and therefore in order to make the development viable, the number of units is higher than the allocation.
- 6.5 In addition, a fundamental issue associated with the principle of the extra units is the fact that the proposed development does not present developer obligations nor provide the required level of affordable housing to accord with policy. In support of the application, a viability statement has been provided by the developer.
- 6.6 The viability assessment goes into further detail on the unforeseen costs. A summary is provided at section 2.11 of this report. Due to its commercially sensitive nature the developers have asked that the statement (incorporating financial information) remains confidential. The density of the development is reflective of the existing Cairn Close development to the south and is identified in the design statement as 13.46 units per ha which is low, thereby reflecting the rural character of the surrounding area.
- 6.7 The consideration of development viability in respect of the relevant policies is discussed below and thereafter consideration of the higher density in respect of the impact that this has on layout, siting and design, impact on infrastructure, open space and amenity are discussed.

Development Viability - Affordable Housing and Developer Obligations

- 6.8 Development viability is a key issue in this application. In terms of policy requirements, the importance of providing affordable quality homes is enshrined throughout NPF4. It seeks to ensure that Local Development Plans allocate land to meet current and future needs and aspirations. It recognises that affordable housing options allow local people to stay in their communities. It also recognises that affordability and choice of homes is acute across the area which further emphasises the clear need for affordable housing provision to support local economies. Policy 16 of NPF4 also states that a lower level of affordable housing can be accepted under the policy if there are issues of viability to ensure deliverability of the site. PolicyH2 of ALDP requires that at least 25% of the total number of homes on a site are affordable and a lower contribution will only be accepted where it is justified by evidence of impact on viability. The draft Supplementary Planning Guidance (SPG) - Developer Obligations and Affordable Housing (August 2023) supports this policy by providing further detail on the forms that the affordable housing contribution could take and outlining the exceptional circumstances where a lower contribution or an alternative to on-site provision may be appropriate on a viability basis.
- 6.9 In terms of developer obligations, NPF4 Policy 18 Infrastructure First seeks to ensure that the impact of development proposals on infrastructure are mitigated. Policy 18 does seek for any contribution to be reasonable, inferring and having regard to viability, by application of the tests (as detailed under Circular 3/2012 Planning Obligations and Good Neighbour Agreements). Policy RD2 Developer Obligations references the same test as set out in Policy 16 of the NPF4 and Circular 3/2012.

- 6.10 As detailed above, a Development Viability Statement has been provided in support of the application. A viability assessment is a process of assessing whether a site is financially viable, by looking at whether the value generated by a development is more than the cost of developing it. This includes looking at the key elements of gross development value, costs, land value, landowner premium, and developer return. It is for an applicant to demonstrate why the viability of their development is compromised because of a change in circumstances since the plan was prepared and adopted.
- 6.11 Developer Obligations has assessed the viability statement from an independent surveyor and which been compiled in accordance with relevant Royal Institute of Chartered Surveyors (RICS) guidance on viability in planning. Developer Obligations accepts the findings of the applicant's evidence that has been presented within the viability statement which is that any profit level is considered to be unachievable even with no developer obligation or affordable housing so it would be unlikely for the development to be fundable or to proceed in the current market. Following discussion between the planning service, developer obligations, affordable housing and the developer, the developers have offered up the provision of the equivalent of 4 units as a commuted sum which is equal to meeting 50% of the affordable housing policy if a commuted sum is accepted. As stated above, policy does provide for a lower level of affordable housing provision (than the standard 25% provision) and can also accept a commuted sum instead of onsite provision in exceptional circumstances such as viability. Notwithstanding the viability position, and the fact that the figures within the viability assessment make no provision for any affordable housing, in order to comply with policy on affordable housing, a commuted sum payment of 50% of the affordable housing requirement is an acceptable compromise in this case as it is unlikely any other developer would take this site on.
- 6.12 Developer obligations would have been sought for healthcare and sports and recreation but given the nature of the viability it is accepted they can be dispensed with in this instance to prioritise affordable housing which again accords with policy provisions for impact of viability. The commuted sum payment will be secured via a section S75 agreement which will also provide for a clawback mechanism to cover both affordable housing and developer obligations if the financial circumstances were to change.
- 6.13 Sight should not be lost of the fact that the land is allocated in the ALDP and the planning service seek to ensure that housing is delivered on the site particularly where we have a developer willing to take on a financially challenging site notwithstanding the viability issues.
- 6.14 Taking account of the fact that the relevant affordable housing and developer obligations policies make allowance for viability in residential developments, the commuted sum payment is considered to be acceptable and the development accords with NPF4 Policies 18 Infrastructure First and 16 Quality Homes and ALDP Policies H2 Affordable Housing and RD2 Developer Obligations.

Siting layout, density and design

- 6.15 NPF4 Policy 14 Design, quality and place and ALDP2023 Policy P1 Layout, siting and design are both applicable to the determination of this application. NPF4 supports proposals where they are consistent with the six qualities of successful places, these being, healthy, pleasant, connected, distinctive, sustainable and adaptable. ALDP2023 Policy P1 only supports development designs that demonstrate the six qualities of successful places, which include: that it is distinctive; safe and pleasant; welcoming; adaptable; efficient; and well connected. There is slightly different wording between ALDP2023 Policy P1 and NPF4 Policy 14, but both sets of policies seek to ensure high quality spaces where successful placemaking is embedded in proposals.
- 6.16 The shape and form of the site lends itself to a layout comprising the proposed 2 parallel streets and this characteristic follows on from the West Croft Close development to the south which broadly replicates similar layout, house types and plot sizes. The site is therefore fairly restricted by the nature of its size and shape but, overall, the density reflects the existing settlement pattern. There is a residential house mix incorporated and the external finishes comprising the white render with grey precast stone features, grey roof tiles and grey windows, doors, soffits and fascias will provide a modern contrast to the beige / grey finishes of the existing Cairn Close development. There are positive aspects incorporated within the development layout and design that include the following features:
 - Landscaped areas on entrance to the development from the south along the full extent of the southernmost street frontage, thereby creating a welcoming approach.
 - The inclusion of a central area of open space which has seating, play equipment, and a centrally positioned circular meeting point.
 - The house types are laid out to provide varying street frontages that have the same house types at either end as book ends. The house designs reflect those within the adjoining residential development at Cairn Close.
 - Provision of connecting paths to the wider countryside.
 - Biodiversity enhancement measures through the incorporation wild flower planting and hibernacula along the length of the Doolie burn and within the site area (wildlife highways).
 - Hedging along boundaries bordering open space areas add further opportunity for biodiversity and create a soft edge to the respective garden grounds assisting in the creation of green space and a more welcoming environment.
- 6.17 The above measures all assist the integration of the development into the landscape and will have a positive impact in terms of providing a welcoming, healthy, and pleasant environment for the prospective occupiers of the houses.

Residential amenity

- 6.18 In considering residential amenity, there are two existing residential properties to the east (Harris House and Ohana). There are two proposed dwellings within the south east corner of the site that would back onto the southernmost dwelling (Harris House). However, there is an area of landscaping proposed that separates the rear garden grounds and the separation distance is such that there will be no privacy implications arising from windows on the proposed dwellings to existing rear garden ground. The northernmost dwelling (Ohana) backs onto the area accommodating the existing foul sewage treatment plant with associated landscaping thereby having no privacy implications. The frontages of existing dwellings along Cairn Close face northwards towards the site with an area of landscaping and public road separating the proposed development from the existing dwellings. The open space area within the existing residential development assists with creating an open aspect and green space between the developments which is welcomed.
- 6.19 The level of private garden ground within the proposed plot areas, are generous on all plots (the smallest of the plots comprising the semi-detached dwellings within the south east corner each have circa 140m2) and are considered to be appropriate to serve the needs of the prospective occupiers. Taking account of the above, the layout, siting, and design is considered to incorporate the principles of the six qualities of successful places and as such this element complies with NPF4 Policy 14 and ALDP 2023 Policy P1.

Landscaping, open space provision and biodiversity

- In considering the landscaping regard is had to NPF4 Annex D Six Qualities of Successful Places. Annex D recognises the contribution that quality landscaping and open space will bring in the promotion of healthy and active lifestyles by creating access to nature and greenspace. The integration of blue and green infrastructure and natural landscape features is also recognised in Annex D by creating pleasant spaces that are designed for positive social interactions. ALDP2023 Policy P1 Layout, siting, and design requires that development is safe, pleasant and distinctive and demonstrates the six qualities of successful placemaking. ALDP2023 Appendix 10 - Standards for Open Space notes that for developments of 5-49 units, that 120m2 of open space should be provided per house and should provide contribution to existing play areas. All development on this scale is expected to provide natural and semi-natural greenspace, community woodlands, provision of green- blue corridors, and neighbourhood streets. In terms of biodiversity regard is had to NPF4 Policy 3 Biodiversity which seeks to ensure that biodiversity is enhanced and better connected including through strengthened nature networks and nature based solutions.
- 6.21 In this case, the ALDP settlement statement identifies specifically that consideration should be given to the landscape impact of the development due to the site being open flat land in particular the visual impact when approaching Memsie from the north. Strategic landscape strips are required to be planted to the north and along the eastern boundaries of the site and an

area for strategic planting is identified as P2 along the Doolie burn to the north of the site.

- 6.22 The total area of the landscaped areas within the development equate to 0.74 ha. The minimum landscaping required is 0.42 ha and whilst it is noted that the area for the treatment plant is included in the open space calculation, which may not be 100% useable given the underground installations associated with it, the development is considerably in excess of the minimum standards for open space which is welcomed. In addition to the landscaped areas within the application site boundary and to accord with the requirements stipulated within the ALDP settlement statement for Memsie, the developers proposed to landscape the buffer strip on the south side of the Doolie burn with wildflower planting and appropriate species of trees including Aspen, Alder, Hazel, and Willow. Tree planting is also proposed along the east side of the field to the north which would run parallel with the A981.
- 6.23 It is also proposed to install log piles near the burn for insects and reptiles and incorporate wildlife highways in all fencing throughout the development. The planting along the Doolie Burn and along the eastern boundary is in addition to a proposed tree planting immediately over the northern site boundary. The development also incorporates the provision of a formal path linking the site down to the location of the Doolie Burn and a series of cut paths within the land to the north to create a circular walking route. In line with the aims of Policy 3 of NPF4, the inclusion of the wildflower mix in the area to the north, trees and formation of log piles within the buffer strip will secure positive effects for biodiversity.
- In terms of Policy 20 of the NPF4, the development incorporates measures to improve the existing blue- green infrastructure. Memsie has limited footpaths and connections to the wider countryside and therefore notwithstanding the fact that the cut paths will provide for short walks only, the inclusion of these aspects are seen as a positive step to improving the path network. Should a further phase come forward, further enhancement to the paths to the wider countryside should be sought. A phasing scheme has been submitted for the landscaping. The standard requirement for the provision of landscaping is for it to be carried out in the first planting season following commencement of development. In this case, the area of land to the north is to be used as a site compound area and therefore the planning service acknowledge the impracticalities of providing plantings adjacent to the northern site boundary in the first planting season. A phasing plan of the proposed landscaping has been submitted and within it the planting along the Doolie Burn and along the A981 would be installed prior to the completion of the 5th dwelling which will ensure that the tree planting which will create a soft edge to the development is implemented timeously. The phasing for the remaining landscaping within the northern portion of the site shall completed prior to the occupation of the 30th dwelling and this is accepted only on the basis that the strategic landscaping along the Doolie Burn and along the A981 is to be installed at an early stage. Relevant conditions shall be applied to ensure that the landscaping over the northern site boundary is carried out in accordance with the agreed landscaping phasing plan. The landscaping within the site shall be

subject to the standard landscaping condition that requires planting to be undertaken in the first planting season following commencement of development.

Transportation

- 6.25 In considering transportation matters, NPF4 Policy 18 Infrastructure First is applicable and requires that development proposals should provide for or contribute to infrastructure in line with identified as necessary as part of the ALDP allocation. NPF4 Policy 15 - Local living and 20 minute neighbourhoods is also applicable and requires that consideration is given to the level and quality of interconnectivity with the surrounding area and access to sustainable modes of transport which includes local public transport, and safe and high quality walking and cycling networks. ALDP Policy RD1 Providing Suitable Services is also applicable and states that we will allow development that provides adequate road, waste water management, water or waste water facilities, connections and treatment as appropriate. The policy also indicates that developers will need to provide or improve off site facilities, if the existing facilities will be placed under extra pressure that results in extra requirements. Policy 13 Sustainable Transport as defined within NPF4 requires that development will be supported where it can be demonstrated that the transport requirements generated have been considered in line with sustainable travel and that they provide safe links to local facilities, will be accessible by public transport, provide safe and secure cycle parking and charging facilities, safe crossings etc.
- 6.26 A number of representations have been received from residents of Cairn Close in relation to transport. These are predominantly concerning the fact that the vehicular access facilitating the site will be taken through the existing Cairn Close development and the concerns are mainly relating to the increased traffic causing congestion and having road safety implications and impacting the quality of life of existing home owners. Further concerns relate to the disruption to existing residents during the construction phase of the development and the potential impact that construction vehicles may have on the existing landscaped areas in Cairn Close for which the residents are paying a factor fee.
- 6.27 In the ALDP, it was identified that separate access from the A981 may be required to facilitate the development. However, a Road Access Summary report has been provided in support of the application which concludes that the existing access to the proposed development from the current residential development at Cairn Close (and in turn from Muir Road) accords with the Aberdeenshire Council guidance for road access. Roads Development are accepting of the access being taken off Cairn Close. There is an existing emergency access (currently serving Cairn Close) which connects to the A981 public road (between properties Harris House and Taigh) at the south east corner of the proposed site. In addition, there are offsite footpaths and bus stops proposed along both sides of the A981 with a pedestrian crossing point to serve the development. Roads Development are satisfied with the offsite improvements. Roads Development require that the infrastructure is

subject to Section 56 technical approval and is to be delivered prior to the occupancy of any dwellinghouse. This shall be subject of a planning condition. Roads Development have indicated the technical details of the Roads Construction Consent (RCC) with relevance to the proposed drainage are to be finalised to ensure adequacy and compliance with the relevant standards. This is a matter that will be covered under the RCC application and should not hold up the determination of the application. Subject to the requirements of Roads Development being applied as conditions/ informatives, the development is considered to accord with NPF4 Policy 18 and ALDP 2023 RD1.

- 6.28 With regards the issues in the letters of representation, Roads Development have not indicated any issues over road safety. In terms of the construction phase of development, the developers have advised that they are actively investigating the possibility of being able to take a temporary construction access directly off the A981 which would address the concerns of residents with construction traffic within the Cairn Close development. It is not uncommon for future phases of development to take construction access through the initial phase. Notwithstanding the fact that it is in the developer's interest to ensure that the construction phase causes minimal disruption to existing residents in the vicinity, reference to the management of Construction vehicles is made within the Design Statement and as such a Construction Traffic Management Plan shall be conditioned which will ensure the details are agreed by the Planning Service.
- 6.29 In terms of provision of sustainable travel and providing access to the wider path network, there are cycle stands proposed within the central area of open space and their implementation on site shall be covered by condition. The developers have submitted plans showing the cycle paths and core paths in the vicinity of the site. Whilst the development does not directly link into either, the development does facilitate these in the respect that they are making a contribution to sustainable travel and connections to the wider countryside by means of both walking and cycling in the proposed development.
- 6.30 Taking account of the above, the development complies with NPF4 Policy 15 Local living and 20 minute neighbourhoods, Policy 13 Sustainable Transport and ALDP Policy RD1 Providing Suitable Services.

Flood risk and drainage

6.31 In considering this aspect of the proposal NPF4 Policy 22 Flood risk and water management, Policy 20 Blue and green infrastructure and ALDP policies C4 Flooding and RD1 Providing Suitable Services are applicable. NPF4 Policy 22 and ALDP Policy C4 seek to direct development to areas that are not at risk of flooding and that flood risk assessments will be required for development in the medium to high category of flood risk. In addition, both policies require that development proposals will manage all rain and surface water through sustainable urban drainage systems (SUDS), which should form part of, and integrate with, proposed and existing blue - green infrastructure. NPF4 Policy 20 seeks to ensure that blue and green

infrastructure are an integral part of development layouts and are designed to deliver multiple functions such as flood prevention and water management. ALDP Policy RD1 states that we will allow development that provides adequate road, waste water management, water or waste water facilities, connections and treatment as appropriate.

- 6.32 Flooding within the site was raised as a concern in the representations. A Flood Statement was submitted which indicates that whilst the site is not identified within the SEPA flood maps as being at risk, the scale of the watercourses in the vicinity of the site falls below the threshold for them being included on SEPA's maps. There are 2 watercourses in the vicinity (Doolie Burn and unnamed ditch along western site boundary). The Flood Statement concludes that from the review of potential flood risk mechanisms, existing relative ground levels and predominant flow paths, that the site is not at risk of flooding. SEPA have no objections on flood risk grounds.
- 6.33 Concerns were also raised in the letters of representation over the proposed means of foul water disposal. It is claimed that the existing sewage treatment plant is not fit for being adopted by Scottish Water and there is no sustainable outfall as the Doolie Burn is constrained by a culvert. There are no public sewers available in the settlement to which the development can connect at present. However, there is an existing treatment plant that was installed as part of the phase 1 Cairn Close development. The drainage report confirms that the proposed means of foul drainage for the new dwellings will connect to a new gravity sewer which will connect to the existing and upgraded sewage treatment plant. Whilst the objection raises concerns on the treatment plant and the prospective outfall to the Doolie Burn, Scottish Water has confirmed that the existing plant will be upgraded and provided it is built to standards and specifications as set out in Sewers for Scotland (Version 4) and that it meets consents set out by SEPA, it will be adopted. It further confirms that the upgrade will be dealt with as part of the application/audit/facilitation process once the technical applications have been submitted to them. As Scottish Water are content with the proposed means of effluent disposal and that they have advised that the upgrade will allow the infrastructure to become adopted by them, the developer has provided sufficient information to show that there is a viable foul drainage solution to serve the development.
- 6.34 Flood Risk and Coast Protection asked for a full Drainage Impact Assessment to be undertaken and following the receipt of this asked for further test pits to be undertaken. The proposed means of surface water disposal from within the plots is via individual soakaways with the garden ground of each respective house. Road waters are proposed to be drained to a soakaway (18.5m x 28m x 0.5m deep) located to the north side of the sewage treatment plant. Flood Prevention are satisfied with the proposed means of surface water disposal, and it has no objections. A relevant condition shall be applied to ensure that the development is carried out in accordance with the agreed drainage details.
- 6.35 Given that investigations on both flood risk and drainage have been undertaken to demonstrate that the site can be adequately drained via

implementation of SUDS systems, the application is considered to comply with both NPF4 Policy 22 Flood risk and water management, Policy 20 Blue and green infrastructure and ALDP2023 Policy C4 Flooding and RD1 Providing Suitable Services in respect of flood risk and drainage matters.

Archaeology

In considering archaeology regard is had to NPF4 Policy 7 Historic assets and places and ALDP2023 Policy HE1 Protecting Listed Buildings, Scheduled Monuments and Archaeological Sites (including other historic buildings). Both sets of policies seek to ensure that our historic environment is protected and enhanced, and this includes archaeological sites. Since the submission of the application an archaeological evaluation has been undertaken. Confirmation from the archaeological contractor is awaited as to whether the applicant has signed contracts on the Post-Excavation Research Design (PERD). Given that at the time of writing this information is outstanding, a condition requesting a Written Scheme of Investigation (WSI) will be applied to the permission to ensure that archaeology is safeguarded throughout the construction phase as per Archaeology Service's original request. As such, the development will not have an adverse impact on assets.

Other matters raised in the letters of representation

6.37 Concerns over education capacity are not founded. Whilst the ALDP identified an issue with limited school capacity at Rathen Primary, this has changed with increased capacity in the school, so the site is no longer required to contribute towards primary education infrastructure provision. No contributions for education were sought in the original developer obligations package and the Education Service raise no objections.

Principle

6.38 On the basis that the development demonstrates that all matters comply the respective policies on layout, siting, and design and technical considerations have been addressed, the principle of providing extra units above and beyond the allocated number in the Settlement Statement is acceptable in this case and the development is considered to accord with Policy H1 of the ALDP and Policy 16 of NPF4.

Conclusion

6.39 There are exceptional circumstances attached to this development, namely that the developers have demonstrated by the submission of a viability statement that the site is unviable. The Planning Service are accepting of the viability statement and its findings. Notwithstanding the viability position and in order to comply with policy on provision of affordable housing, the developer has committed to providing a commuted payment towards the provision of affordable housing within the catchment area. The level of contribution is accepted by the Planning Service and given the exceptional circumstances surrounding this case, the proposal is considered to comply with both

Developer Obligations and Affordable housing policy. It should be stressed that the position taken by the Planning Service on these matters is exceptional on the grounds of the particular circumstances pertaining to this site and the challenges in delivering this allocated housing site and it should in no way be seen as setting a precedent.

- 6.40 The proposal meets the requirements of the Settlement Statement and demonstrates a reasonable site layout that comprises many positive features of good placemaking. This is especially with regards to the provision of open space, off site pedestrian links and bus stop provision, biodiversity measures and the planting within the buffer strip along the burn and adjacent to the A981. All technical matters have been demonstrated and their implementation on site are either integral to the development or can be covered by application of relevant planning conditions.
- 6.41 The Planning Service is now in a position to support this application in line with relevant policies contained within both the NPF4 and the ALDP2023. The erection of 35 houses is considered to comply with policy, as outlined above. The Planning Service are satisfied that the proposal will be appropriately designed, and laid out and be of a compatible scale, nature, and finish to the properties adjacent. The site can be suitably accessed and serviced and will have no detrimental impact on the local amenity or character of Memsie. Therefore, the application is recommended for approval, subject to conditions.

7. Area Implications

7.1 In the specific circumstances of this application there is no direct connection with the currently specified objectives and identified actions of the Local Community Plan.

8. Implications and Risk

- 8.1 An integrated impact assessment is not required because the granting or refusing of the application will not have a differential impact on the protected characteristics of the applicant or any third parties.
- 8.2 There are no staffing and financial implications nor financial implications.
- 8.3 There are no risks identified in respect of this matter in terms of the Corporate and Directorate Risk Registers as the Committee is considering the application as the planning authority in a quasi-judicial role and must determine the application on its own merits in accordance with the Development Plan unless material considerations justify a departure.
- 8.4 No separate consideration of the current proposal's degree of sustainability is required as the concept is implicit to, and wholly integral with, the planning process against the policies of which it has been measured.

9. Departures, Notifications and Referrals

9.1 <u>Development Plan Departures</u>

None

- 9.2 The application is not a Departure from the valid Development Plan and no departure procedures apply.
- 9.3 The application does not fall within any of the categories contained in the Schedule of the Town and Country Planning (Notification of Applications) (Scotland) Direction 2009 and the application is not required to be notified to the Scottish Ministers prior to determination.
- 9.4 The application would not have to be referred to Infrastructure Services Committee in the event of the Area Committee wishing to grant permission for the application.
- 10. Recommendation
- 10.1 That authority to GRANT be delegated to the Head of Planning and Economy subject to:-
 - 1. Section 75 to secure commuted sum payment for affordable housing and to incorporate a clawback mechanism in the event that the financial circumstances change;
 - 2. And subject to the following conditions:-
- 01. In accordance with Section 58 of the Town and Country Planning (Scotland)
 Act 1997 (as amended) this planning permission will lapse on the expiration of
 a period of three years from the date of this decision notice, unless the
 development is begun within that period.
 - Reason: Pursuant to Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).
- 02. That prior to the occupation of the 5th dwellinghouse within the development hereby approved the agreed off site infrastructure improvements have been installed in accordance with the approved plans and are completed and available for public use. The offsite infrastructure comprises the following:
 - extended footways along both the A981 and B9032;
 - bus stop provision on either side of the A981 public road; and
 - the pedestrian crossing point.

Any variation to the timing of the implementation of the works shall require to be subject of the prior formal agreement in writing by the Planning Authority.

Reason: To ensure that the development meets the NPF4 requirements of providing access to sustainable modes of transport and amenity and to ensure that the offsite infrastructure is implemented timeously.

03. That unless otherwise agreed in writing, all soft and hard landscaping within the application site boundary shall be carried out in accordance with the approved planting scheme as detailed on drawing Landscape Proposals Phase 2 – Planting Plan reference CH M2 100.22 SL-02 REV E dated 8th November 2022. The landscaping shall be implemented in the first planting season following commencement of development within each respective residential phase (as detailed on Phasing plan WCP-WIP-07 REV E) and thereafter the landscaping shall be maintained in accordance with the agreed 5-year Landscaping Maintenance Regime (Jan 2024). The hard landscaping includes, but is not limited to, the provision of the play equipment, cycle stands and seating within the public open space areas.

For the avoidance of doubt, any planting which, within a period of 5 years from the completion of the development, in the opinion of the Planning Authority is dying, being severely damaged, or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted. Once provided, all soft and hard landscaping works shall thereafter be permanently retained.

Reason: To ensure the implementation and management of a satisfactory scheme of landscaping which will help to integrate the proposed development into the local landscape in the interests of the visual amenity of the area and enhance biodiversity.

04. That unless otherwise agreed in writing with the Planning Authority, all landscaping proposals outwith the application site boundary as detailed on the approved plan titled Landscape Proposals Phase 2 – Open Space Planting Plan reference CH M2 100.22 SL-03 REV E shall be carried out in accordance with the details contained therein. The timing for implementation of the agreed landscaping in this area shall accord with the timing as detailed within the landscape phasing plan Reference WCP-WIP-LAND-PH dated 30 Jan 2024. The landscaping shall thereafter be maintained in accordance with the agreed 5 year Landscaping Maintenance Regime (Jan 2024). For the avoidance of doubt, any planting which, within a period of 5 years from the completion of the development, in the opinion of the Planning Authority is dying, being severely damaged or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted. Once provided, all soft and hard landscaping works shall thereafter be permanently retained.

Reason: To ensure the implementation and management of a satisfactory scheme of landscaping which will help to integrate the proposed development into the local landscape in the interests of the visual amenity of the area and enhance biodiversity.

- 05. No individual dwellinghouse hereby approved shall be erected unless an Energy Statement applicable to that dwellinghouse has been submitted to, and approved in writing by, the Planning Authority. The Energy Statement shall include the following items:
 - a) Full details of the proposed energy efficiency measures and/or renewable technologies to be incorporated into the development;
 - b) Calculations using the SAP or SBEM methods, which demonstrate that the reduction in carbon dioxide emissions rates for the development, arising from the measures proposed, will enable the development to comply with Policy C1 of the Aberdeenshire Local Development Plan 2023.

The development shall not be occupied unless it has been constructed in full accordance with the approved details in the Energy Statement. The carbon reduction measures shall be retained in place and fully operational thereafter.

Reason: To ensure this development complies with the on-site carbon reductions required in Scottish Planning Policy and Policy C1 of the Aberdeenshire Local Development Plan 2023.

06. No dwellinghouse hereby approved shall be occupied unless its driveway and parking area has been provided and surfaced in accordance with the details shown on the approved plans. Once provided, all parking areas shall thereafter be permanently retained as such.

Reason: To ensure the timely completion of the driveway to an adequate standard to prevent the carriage of loose driveway material on to the public road in the interests of road safety.

07. The proposed development shall be connected to the public water supply as indicated in the submitted application and shall not be connected to a private water supply without the separate express grant of planning permission by the Planning Authority.

Reason: To ensure the long term sustainability of the development and the safety and welfare of the occupants and visitors to the site.

08. No dwellinghouse hereby approved shall be occupied unless the proposed foul and surface water drainage systems have been provided in accordance with the approved plans and the Drainage Statement V.6 by Cameron and Ross dated Feb 2024. Foul and surface water drainage systems shall be permanently retained thereafter in accordance with the approved maintenance scheme.

Reason: In order to ensure that adequate drainage facilities are provided, and retained, in the interests of the amenity of the area.

09. No works in connection with the development hereby approved shall commence unless an archaeological Written Scheme of Investigation (WSI)

has been submitted to, and approved in writing by, the Planning Authority and a programme of archaeological works has been carried out in accordance with the approved WSI. The WSI shall include details of how the recording and recovery of archaeological resources found within the application site shall be undertaken, and how any updates, if required, to the Written Scheme of Investigation will be provided throughout the implementation of the programme of archaeological works. Should the archaeological works reveal the need for post excavation analysis, the development hereby approved shall not be brought into use unless a post 1 excavation research design (PERD) for the analysis, publication and dissemination of results and archive deposition has been submitted to, and approved in writing by, the Planning Authority. The PERD shall be carried out in complete accordance with the approved details.

Reason: To safeguard and record the archaeological potential of the area.

10. No works in connection with the development hereby approved shall commence unless a Construction Traffic Management Plan (CTMP) has been submitted to, and approved in writing by, the Planning Authority. The development shall be carried out in complete accordance with the approved CTMP.

Reason: In the interests of road safety and to avoid degradation of the road and bridge network.

11. No development shall commence unless details of the proposed seating and play equipment within the open space areas have been submitted for the written approval of the Planning Authority. The approved play equipment and seating shall thereafter be installed in accordance with the approved details and in accordance with the timing as specified within the agreed phasing plan (as per condition 2 above).

Reason: To ensure the timeous implementation of play equipment and seating within the open space areas in the interests of amenity.

- 12. That no development shall commence unless detailed plans of the following biodiversity enhancement measures have been submitted for the written approval of the Planning Authority:
 - The hibernacula including locations
 - The wildlife highways including locations

The details shall include details of the timing of implementation of the above measures and the agreed measures shall thereafter be implemented in accordance with the approved plans and within the agreed timeframes.

Reason: To ensure the timeous implementation of agreed measures in the interests of ensuring biodiversity enhancement.

13. No development shall commence unless full details of the proposed formal path connecting the development to the Doolie Burn have been submitted for the written approval of the Planning Authority. The approved path shall thereafter be implemented on site in accordance with the approved details and in its entirety. The path shall be completed and made available for public use in accordance with the timings as detailed within the landscape phasing plan Reference WCP-WIP-LAND-PH dated 30 Jan 2024.

Reason: To ensure the timeous implementation of the formal path within the open space area to provide access to the wider countryside in the interests of amenity.

10.2 Reason for Decision

The Planning Authority considers that the application is for a development that is in accordance with both National Planning Framework 4 and the Aberdeenshire Local Development Plan 2023. The proposal encompasses many features of good placemaking, and the development will be appropriately designed, laid out and be of a compatible scale, nature, and finish to the properties adjacent. The site can be suitably accessed and serviced and will have no detrimental impact on the local amenity or character of Memsie.

For noting:-

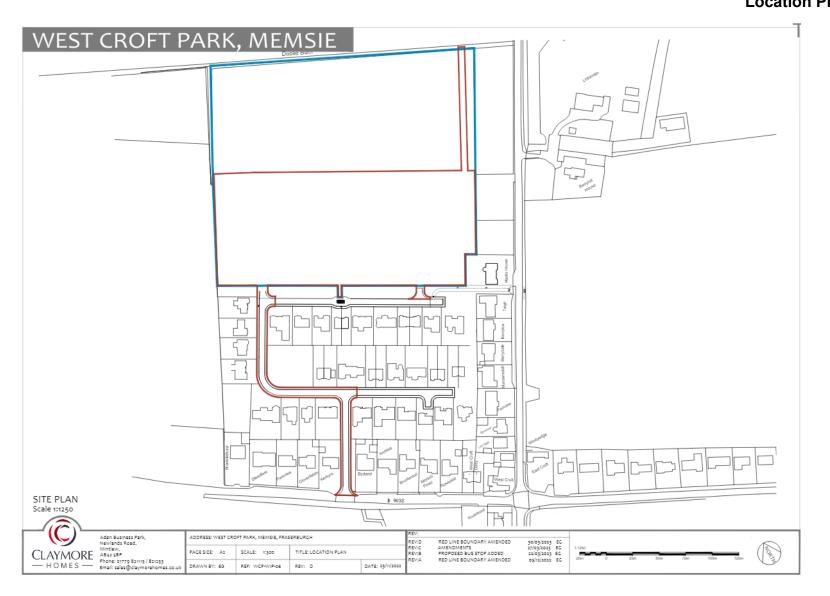
Part 2C (Planning Delegations) states at Section C.2.2 for Major Development, that following consultation with the Chair and Vice-Chair of the determining Committee for applications initially dealt with by the Area Committee, the Head of Planning and Economy can refuse planning applications for which Section 75 Agreements are not completed or Developer Obligations are not paid within six months from the date of the Committee at which the application is determined. Local Ward Members shall be notified of any such refusal.

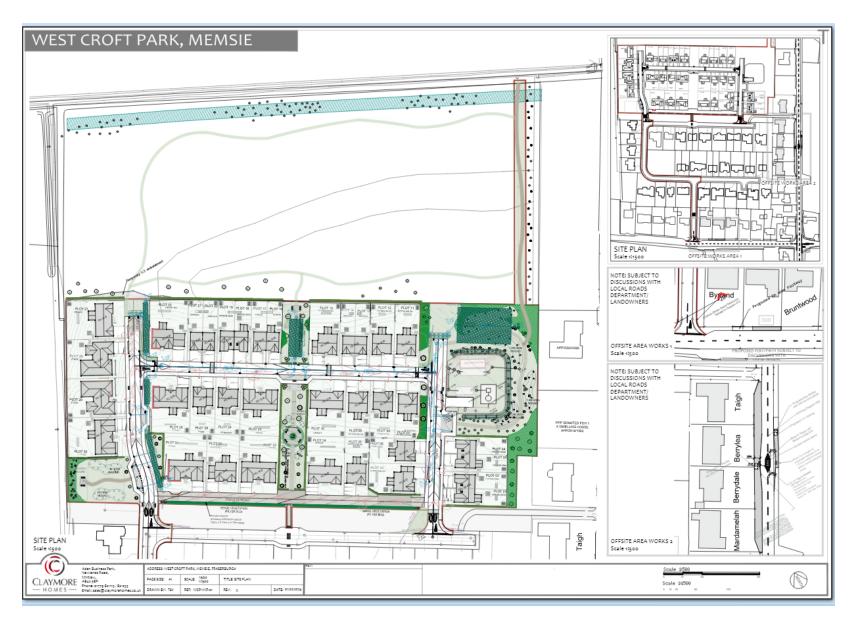
Please note that this power may be exercised in respect of the application which is the subject of this report if the application is approved by the Committee.

Alan Wood
Director of Environment and Infrastructure Services
Author of Report: Lindsey Geddes

Report Date: 29 February 2024

Appendix 1
Location Plan





Appendix 3

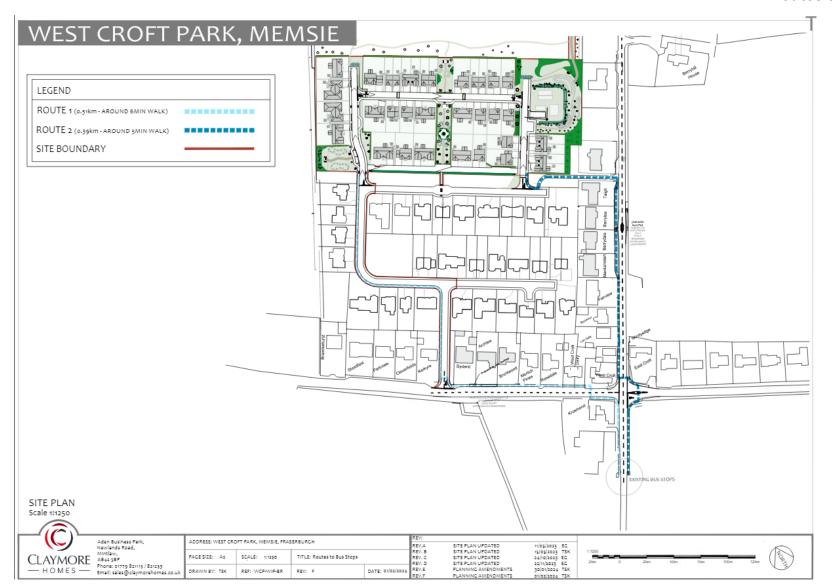
Landscaping i Site



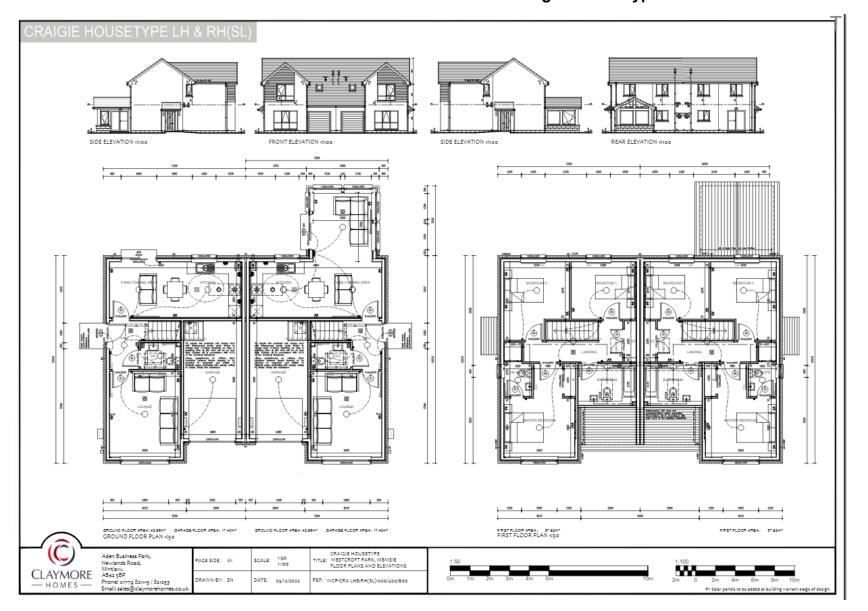
Appendix 5
Landscaping Phasing



Appendix 6
Routes to bus stops

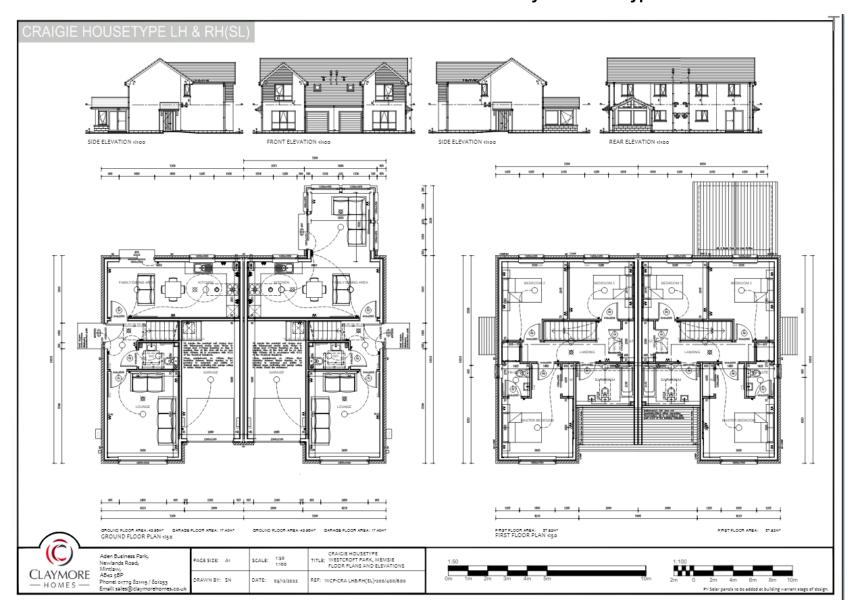


Appendix 7
Craigie House Type Elevations and Floor Plan

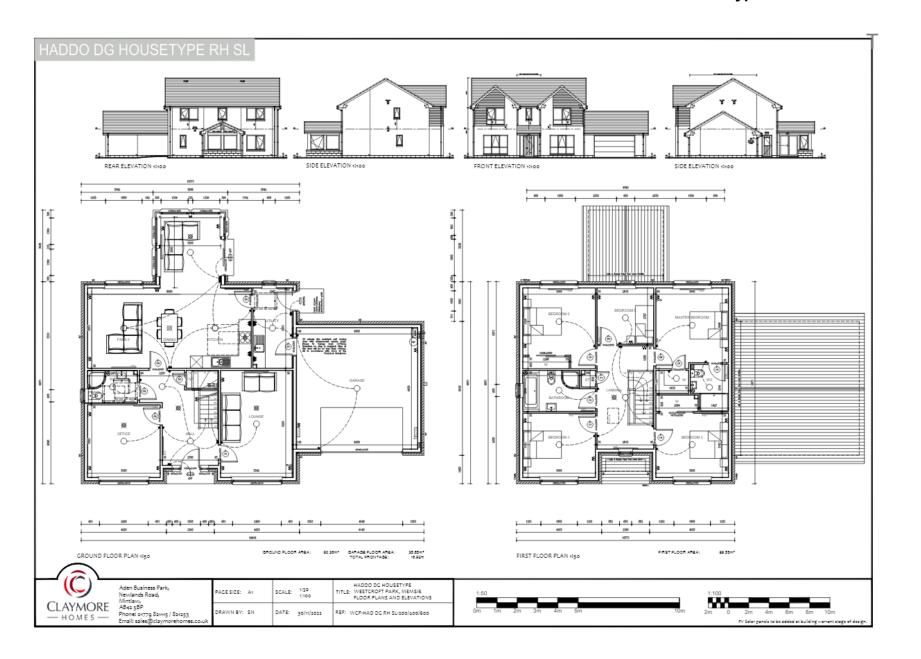


Appendix 8

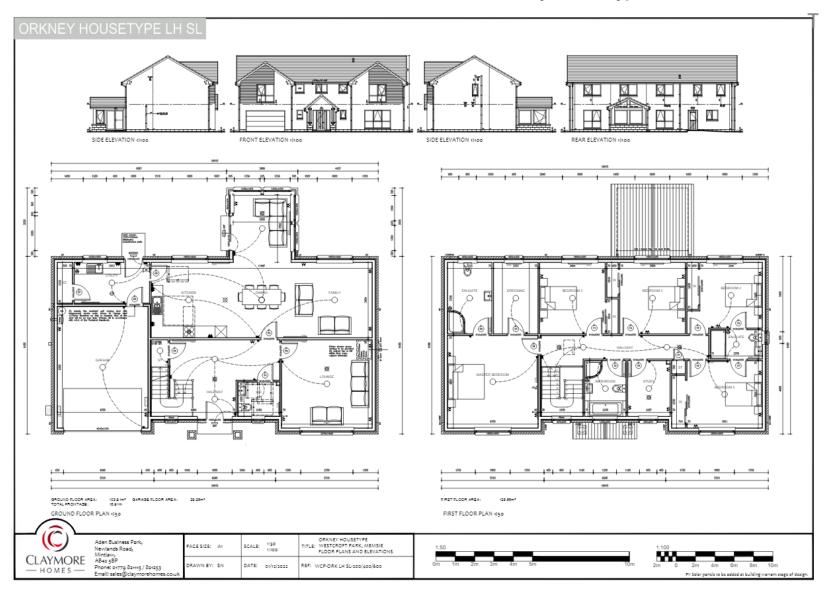
Fyvie House Type Elevations and Floor Plan



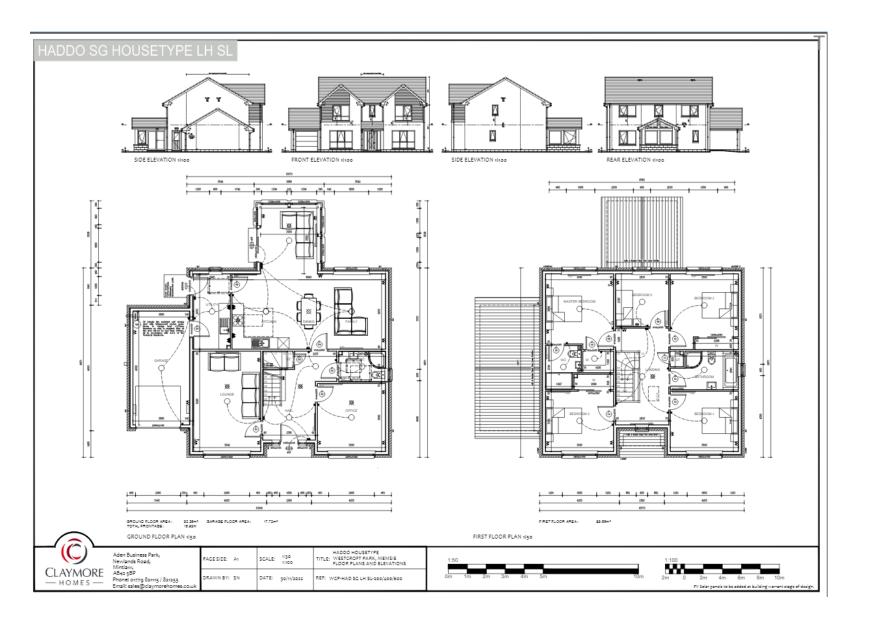
Appendix 9
Haddo DG House Type Elevations and Floor Plan



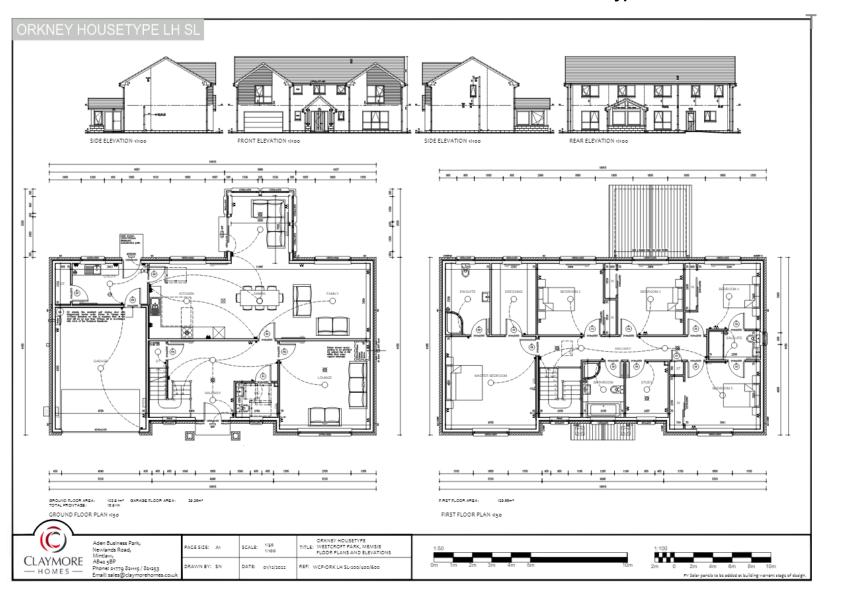
Appendix 10
Orkney House Type Elevations and Floor Plan



Appendix 11
Haddo SG House Type Elevations and Floor Plan

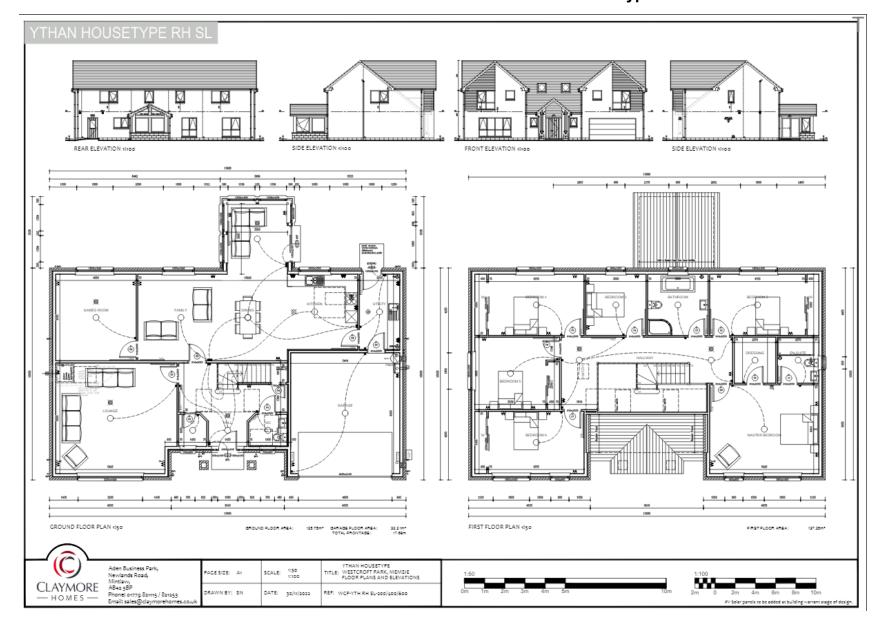


Appendix 12
Pitmedden House Type Elevations and Floor Plan

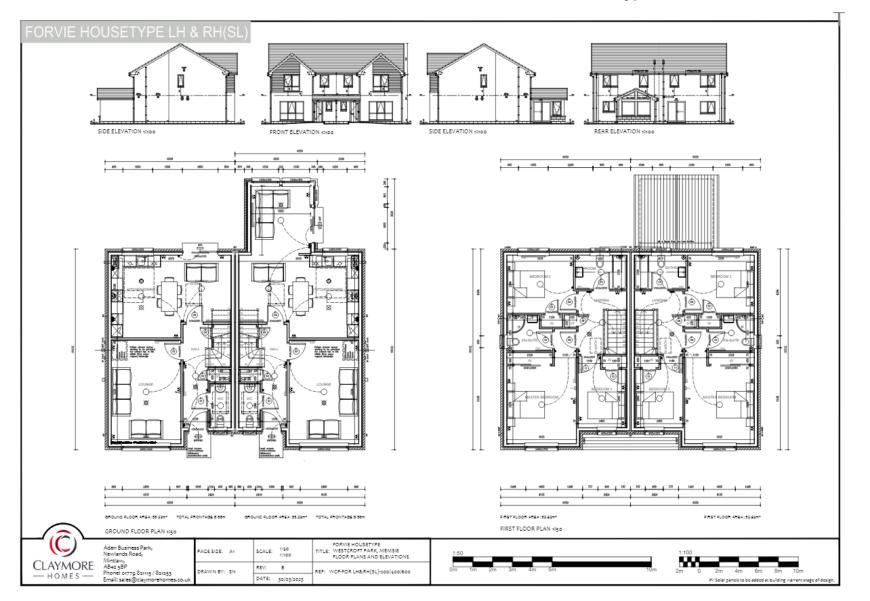


Appendix 13

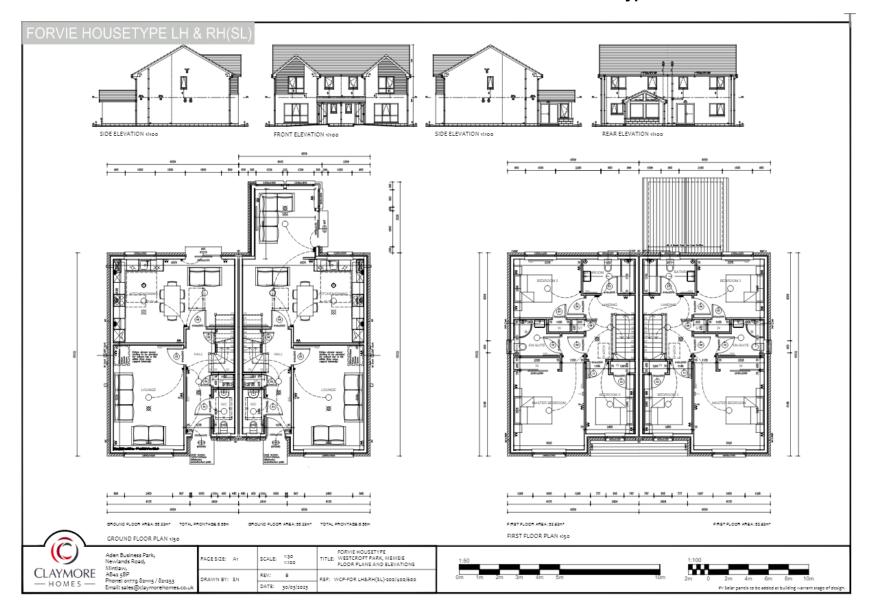
Ythan House Type Elevations and Floor Plan



Appendix 14
Forvie House Type Elevations and Floor Plan



Appendix 15
Garioch House Type Elevations and Floor Plan

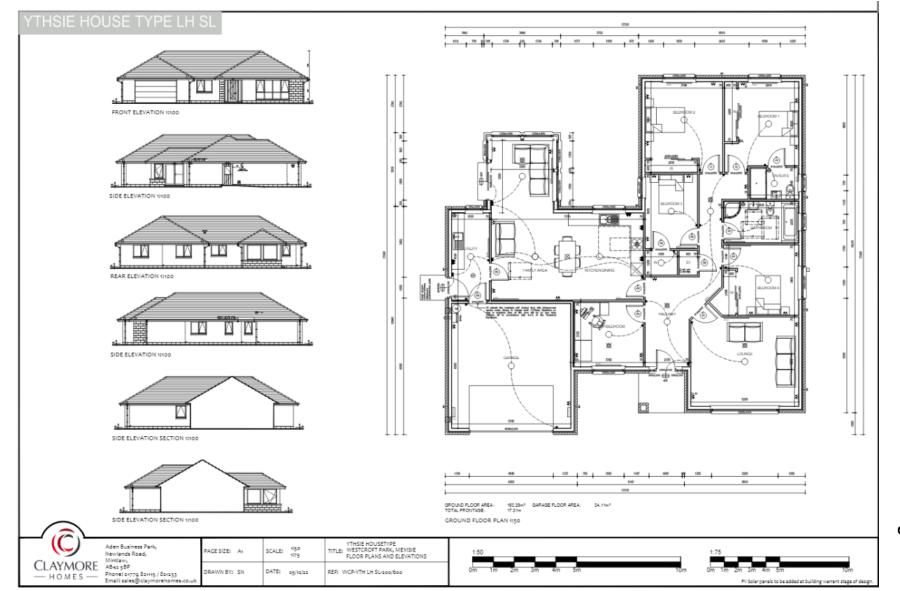


Appendix 16
Pittrichie DG House Type Elevations and Floor Plan



Appendix 17

Ythsie House Type Elevations and Floor Plan



Appendix 18
Pittrichie SG House Type Elevations and Floor Plan



Appendix 19
Ythan House Type Elevations and Floor Plan



Application Summary

Application Number: APP/2023/0562

Address: Land To The North Of Cairn Close Memsie Fraserburgh Aberdeenshire

Proposal: Erection of 35 Dwellinghouses and Associated Infrastructure

Case Officer: James Hewitt

Customer Details

Name: Mr Steven Rollo

Address: Greenbank Croft, 33 Greenbank Road, Fraserburgh, Aberdeenshire AB43 7GA

Comment Details

Commenter Type: Member of Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:There are no drainage or Road details accompanying this application. Is this a new policy from Aberdeenshire Council to ignore any drainage impacts from developments? There are major problems with foul drainage at this site as in no outfall. I will object in more detail regarding further major issues on this site but I would really like to know how this application can be live with such important information missing. The whole area was previously used as a borrow pit for the neighbouring development so at the very least the ground condition tests should be noted to see if any roadway can be supported. Please excuse my ignorance if the rules for submitting housing development applications have changed.

Thanks

Steven Rollo

Application Summary

Application Number: APP/2023/0562

Address: Land To The North Of Cairn Close Memsie Fraserburgh Aberdeenshire

Proposal: Erection of 35 Dwellinghouses and Associated Infrastructure

Case Officer: James Hewitt

Customer Details

Name: Mr Steven Rollo

Address: 33 Greenbank Road Greenbank Road Fraserburgh AB43 7GA

Comment Details

Commenter Type: Member of Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Dear Planning Department,

I would like to lodge an objection to the Erection of 35 Houses at North of Cairn Close, Memsie. I have set out my reasons below,

- 1. This application has very limited information available and a lot of the information submitted is false. There is no Information to show how the drainage will impact the surroundings and no road information. I feel this is deliberate as this site has major drainage and the land may be unsuitable to support the roadways proposed.
- 2. The application states that the existing seweage treatment plant is currently in the process of being adopted by Scottsh Water and the new sewage generated by the new houses will again be drained to an adopted Scottish Water Seawge plant . This is absolutely false. The sewage plant that exists at the moment was built to a low standard which Scottish Water would never adopt. They will also fail to get the new proposals adopted as they do not have a sutable outlet. The Doolie Burn cannot accept any further discharge into it as it is already constrained within a pipe that causes the foul water to spill out in properties further down the line. The developer is fully aware of this as it was demonstrated by Mr Gray, next door at the last application. The Scottish Water comments here are a standard response to all planning applications. Care should be taken as you will read that any sewer needs full Technical approval before being adopted. This Technical approval is quite rightly of the highest order and the proposed sewer and surface water works on this site will never be adopted due to many factors.
- 3. This site was wrongly accepted as the preffered zoned site in the local plan. The developer falsely claimed that Scottish water was adopting their plant which was false. This land is totally unsuitable for devlopment and the alternative sites are much better prepared to be serviced sustainably.
- 4. The developers have ignored the requests from consultees of the previous open days as to what information they wanted brought forward. What is the point of asking all these people their

views and comments and then to just totally ignore it, Arrogance plain and simple.

- 5. It is well known to the owner that the site was previously used as a dumping ground and borrow pit for the adjacent housing. Some areas were dug to a great depth and filled with unsuitable fill material. Information on the position of ground tests should be provided as these may have been taken in places that do not show any structural issues.
- 6. The local development plan has been made a mockery of by this application. It was accepted into the local development plan with false information and it looks as though the trend continues.
- 7. The Doolie Burn is at a high level throughout the year and as we have seen in recent years is it spilling out over the field. This is well documented and only have to walk a short distance to see this outlet go from a large open ditch to a small constrained pipe.

Obviously unsuitable for the purpose proposed.

8. This application is so light on detail I thought it was a joke and could not understand how this had managed to get registered. The planner told me that this was now the standard.

That approach can only end in major problems in my opinion and if it is the case you can submit a major planning application without drainage and access details then it should be allowed across the board which I know from experience is not normally accepted.

Yours Sincerely

Steven Rollo

Application Summary

Application Number: APP/2023/0562

Address: Land To The North Of Cairn Close Memsie Fraserburgh Aberdeenshire

Proposal: Erection of 35 Dwellinghouses and Associated Infrastructure

Case Officer: James Hewitt

Customer Details

Name: Mr Steven Rollo

Address: NETHER ADEN ROAD Bruxie Lodge Mintlaw Peterhead AB42 4LE Peterhead AB42

4LE

Comment Details

Commenter Type: Member of Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Dear Planning Officer,

On further looking at this application it appears as though the application is being based on a ground level survey from 2012 which is before the neighbouring scheme was built by Claymore Homes. There was no spoil removed from the Claymore site it was all stockpiled and the spread out on the application site. So this means that the contours of the site will no way match what has been shown. As you will see there is a huge topsoil bund going through the existing houses. How can this get passed the scrutiny of the planners. This application should not have been allowed to be registered live. I am going to call the planning department straight away as it also falsely states that Scottish Water is in the process of adopting the current sewage plant. I have years of experience with dealing with sewer approvals from Scottish Water and would stick my neck out and say there is no way on earth that Scottish Water will adopt the current sewage plant as it is as far from the high specification systems needed for Scottish Water technical approval as you can possibly get. The biggest issue is that there is no sustainable outfall for sewer or rainwater as the Dooley Burn is seriously constrained by a culvert just as the burn passes the site. The applicant has no power to upgrade the culvert to a suitable size. Scottish Water would not have a sewage treatment works with this kind of conditions. The main reason that this site was chosen over the alternative sites put forward in the local plan was that it could be served by an adopted sewer. This has not been shown here and never will. This poor excuse for a planning application should be made to be withdrawn and only allowed to be applied for by providing the information that needs to be seen to determine it and also truthful facts, not a wish list of fantasy ground conditions and technical approval from Scottish Water that will never happen. The site will ultimately end up being developed by Claymore Homes who have not been able to provide the adopted sewer plant in the last 10 years or so since the last houses were completed, so how are they suddenly going to get it now.

Yours Sincerely Steven Rollo

Application Summary

Application Number: APP/2023/0562

Address: Land To The North Of Cairn Close Memsie Fraserburgh Aberdeenshire

Proposal: Erection of 35 Dwellinghouses and Associated Infrastructure

Case Officer: James Hewitt

Customer Details

Name: Mr Craig Gray

Address: 4 Cairn Close Memsie Fraserburgh AB437FE

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: No objection to the proposed development.

But i do wonder where the trees are that were supposed to be planted in the Cairn Close/Westcroft development.

These trees would've broken up the Cairn Close/new development area well and would've had 10 years of growth by now.

Application Summary

Application Number: APP/2023/0562

Address: Land To The North Of Cairn Close Memsie Fraserburgh Aberdeenshire

Proposal: Erection of 35 Dwellinghouses and Associated Infrastructure

Case Officer: James Hewitt

Customer Details

Name: Mr Alexander west

Address: 7 Westcroft Close Memsie FRASERBURGH AB437BF

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to see a second access road to this new development site.

There is a play park which a lot of kids use in the corner of Westcroft close which is placed across the road from my home.

It is already quite busy with cars driving past, if you add another 35 homes with say 2 cars for each home (sometimes more) this is another possible 70+ cars that will be driving past the play area.

So I would like to see a second access road to this new development away from the original access road to avoid further traffic driving past this busy play area for the safety of the kids.

If a second access road is added I will no longer object to the new development.

From:
Sent: 28 April 2023 12:57
To: Planning Online

Subject: Concerns for housing application APP/2023/0562

I wish to express my concerns regarding a new housing development at Memsie, reference APP/2023/0562:

- 1. It is not clear on the picture or details where the construction and heavy duty traffic will be entering and exiting the site. The main road into Westcoft Close passes many homes and an established community. And most importantly, the playground which many children use. I fear with continuous construction traffic passing this way, and then with a significant increase of residential traffic, it would not be a safe environment for children.
- 2. At present the community pay fees to a local provider to maintain the grounds and playground in Westcroft Close. With heavy duty construction traffic this would undoubtedly cause significant mess to the streets and environment.
- 3. Finally, has schooling been considered for the families of these new houses? With a significant amount of new homes comes more children. And with the local school being rather small, I wonder if there is capacity to accommodate this?

I hope that these concerns are carefully considered.

Regards,

Paula West

3 Westcroft Close Memsie Fraserburgh AB43 7BF

Sent from Outlook for Android

From:

 Sent:
 20 April 2023 18:51

 To:
 Planning Online

 Subject:
 APP/2023/0562

Dear Paul

I am resubmitting this as I omitted to put my full name and address on the original one.

I have several concerns with regard to the above planning application.

Access for the construction would be very detrimental to the current home owners as the vehicles would be continually passing the play area at Westcroft Close which would cause a big safety concern.

The school bus pick up and drop off zone is on the main road into the estate which again causes safety issues as well as congestion between large construction vehicles and the bus, parents cars etc.

The current home owners pay a maintenance fee for the upkeep of the area since it was completed by Claymore. Surely payment of this would have to be taken over again by Claymore as all the vehicles will tear up the roads over the few years or however long the phase takes to complete.

I have no objection to the increase in housing but an alternative access road surely is needed to allow the current homeowners and, their mainly young, families to continue living in the knowledge that their estate is indeed peaceful and crucially a safe environment for their children.

Obviously, without another access road, the amount of passing traffic to the existing homes will significantly increase when the development becomes inhabited, which again will cause safety concerns as well.as increased noise to the current homeowners.

As a Grandparent who childminds weekly to my 4 grandchildren living in 2 properties on the estate I have real concerns about this and how it will affect the quality of life to the current homeowners.

Surely Claymore homes would have had to have a contingency plan for access to their next phase after the current one was complete!

Regards Carole Trail

Carole Trail NORWOOD Wester Cardno Fraserburgh AB43 7DD

Sent from Yahoo Mail on Android Sent from Yahoo Mail on Android From: Andrew West

Sent: 26 April 2023 11:57
To: Planning Online

Subject: Concerns for planning application APP/2023/0562

Hi,

This email is in regards to planning application APP/2023/0562.

My main concern is will there be a seperate construction road to be built for all works / construction traffic during the building of these houses?

I didn't see one visable in the drawing.

This is essential as you cannot expect construction vehicles and other heavy duty vehicles to use the current road through Westcroft Close to get to the site.

There is a play park on this road and many kids of all ages play at it. As well as playing at it the kids also use their bikes / scooters to get to the park. For heavy goods vehicles to be operating back and forth in this area is a serious safety concern.

Other concerns would be the mess construction traffic would leave on the street. As a developed community we pay to keep these ground clean and well kept, and construction heavy duty traffic would undoubtedly cause mess and disruption.

My final concern I could think to bring to attention would be has it been considered where would all the primary children potentially moving into these houses go to school? I know the local school Rathen isn't exactly huge. Just a thought.

Please feel free to get back in touch to discuss these concerns further.

Regards,

Andrew West 3 westcroft close Memsie Ab43 7bf Aberdeenshire UK

Sent from Outlook for Android



Banff & Buchan Area Committee Report – 12 March 2024

Reference No: APP/2022/0300

Full Planning Permission For Erection of Supermarket, Including Cafe, Petrol Station, Car Parking and Associated Works, Vehicular Access and Landscaping at Canal Park, Bridge Road, Banff, Aberdeenshire

Applicant: Wm Morrison Supermarkets Ltd

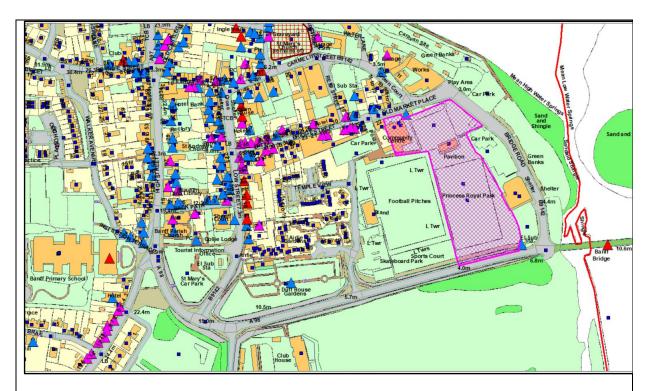
Agent: Peacock + Smith

Grid Ref: E:369267 N:863861
Ward No. and Name: W01 - Banff And District
Application Type: Full Planning Permission

Representations 368
Consultations 12

Relevant Proposals Map Designations: Town Centre Area, Conservation Area

Complies with Development Plans: No Main Recommendation Refuse



NOT TO SCALE

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1. Reason for Report

- 1.1 The Committee is able to consider and take a decision on this item in terms of Section B.8.1 of Part 2A List of Committee Powers and Section C.3.1g of Part 2C Planning Delegations of the Scheme of Governance as the application is recommended for refusal but in the professional opinion of the Head of Planning and Economy there has been a substantial body of support for the development.
- 1.2 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report and their comments are incorporated within the report and are satisfied that the report complies with the Scheme of Governance and relevant legislation.

2. Background and Proposal

- 2.1 This is an application for Full Planning Permission to erect a supermarket and petrol filling station on land at Canal Park, Banff. It also includes car parking for customers, areas of landscaping, and a service yard area. The site lies at the eastern side of the town, close to the River Deveron estuary and Banff Bridge, as shown in **Appendix 1**.
- 2.2 At present the overall application site comprises the grassed Canal Park football pitch used by the Deveronside Football Club (amongst others), a derelict tennis court, pavilion building, and the former community centre on Old Market Place. The latter has a two storey frontage to Old Market Place and is finished in a grey wet dash harl with natural slate roof, while the pavilion building has an artificial slate roof with walls of grey artificial stone and a cream coloured render.
- 2.3 To the north the site is bounded by Old Market Place and the listed former Smiddy building (now silversmith's workshop). The boundary with the latter is marked by a wall of natural stone in excess of 2m high which extends around onto Bridge Road. To the east the site is bounded by Bridge Road, a car park and natural grassed/meadow area (both on the site of the former Crown Motors garage business), and by the Co-op supermarket and its customer car park. Right in the southeastern-most corner of the site, it abuts the electricity substation building a small structure of traditional appearance (the former bridge toll house, repositioned when New Road was built) with grey wet dash harled walls and natural slate roof. The boundary along the eastern flank of the application site is formed of the natural stone wall described above, and of metal palisade and chain link fencing.
- 2.4 To the south the site forms a boundary with the New Road (A98) which sits on banking above the level of the application site. A chainlink fence currently sits at the foot of the banking with the New Road. To the northwest the site is flanked by the former community centre, while the remainder of the western boundary is with Princess Royal Park; home ground of Deveronvale Football Club. The boundary with the latter is marked by a fence of vertical timbers to around 2.5m in height, and finished in a dark brown stain.

- 2.5 As shown on the application site plan, the ownership area extends to 1.77ha although the overall application site boundary exceeds this to give an overall site area of 1.96ha. The discrepancy is accounted for by the additional visibility splays at both vehicular access points to the site which are on land outwith the applicant's control. The most recent site plan, incorporating landscaping proposals is attached to this report as **Appendix 2**.
- 2.6 Taking the proposed supermarket building first, this is a building with an overall footprint area of 3,148 square metres, of which 1,738 will form the internal retail floorspace area. The overall width of the building is 47.438m with a length of 68.05m. Maximum height is 6.3m this represents the height of the walls which form a parapet and behind which is a shallow pitched roof to a maximum height of 5.548m. In other words, the highest point of the pitched roof will be below that of the parapet. Plans illustrating the floorplan, elevations, and sections are attached as **Appendices 3, 4, and 5** respectively.
- 2.7 The main frontage and public aspect of the store faces south towards the A98/New Road, and has an overall width of 47.438m. It features large areas of glazing at the western side of the frontage with three large window openings framed with basalt (dark) grey coloured fittings. The eastern side of the frontage also features large areas of glazing associated with the store entrance and foyer area with the same dark grey frames and fittings. The walls of this frontage are of natural stone, while upper walls in anthracite (very dark) grey cladding and basalt grey complete the finish.
- 2.8 On the eastern elevation the store entrance and foyer area again is a prominent glazed feature reflecting the second most public aspect of the proposed store when viewed from Bridge Road to the east. A further section of natural stone wall is proposed here before anthracite grey and then goosewing grey cladding complete the remainder of the eastern elevation. The northern elevation is the least public and is finished entirely in goosewing grey cladding with the exception of basalt grey capping. The western elevation again is finished mostly in goosewing grey cladding with the exception of the small canopy over the loading bay access, the capping, and two service doors in basalt grey. The final 18.15m of the frontage toward the south western corner of the building is shown as finished in anthracite grey cladding.
- 2.9 Associated with the main supermarket building, the home shopping unit is located just to the west of this and at the north-western corner of the overall site, and also accessed from Old Market Place. The purpose of the building is to load delivery vans taking orders placed online out to customers. It will measure 11.9m wide by 17.4m long and have a maximum roof height of 4.395m. Of rectangular footprint, the building would have a shallow, monopitched roof and be constructed largely of goosewing grey cladding with basalt grey flashings and fittings. Attached to the western elevation would be a canopy providing partial shelter to four delivery van bays. It also features a

mono-pitched roof and construction finished in basalt grey to match the fittings of the delivery unit. Details of the elevations and layout of the unit are illustrated in **Appendix 7**.

- 2.10 Situated at the southern-most point of the site and adjacent to the boundary with New Road (the A98) is the proposed petrol filling station. The kiosk serving this will be located parallel to the boundary with the neighbouring Coop supermarket's boundary and car park, separated from it by a chainlink fence and a line of trees and shrubs. The building proposed has a rectangular footprint area measuring 21.27m long by 9.463m wide for a gross floorspace area of 191m squared. Of this area, 140m squared will be retail floorspace. The mono-pitched roof will have a maximum height of 4.61m at the main (western) elevation, dropping to 4.208m at the rear. Finishes proposed are goosewing grey cladding for the north, east, and south elevations with basalt grey flashing and fittings, while the main west-facing elevation will feature natural stone cladding and the main window and door openings. Elevation details of the kiosk and the canopy are illustrated in **Appendix 8**, with a 3D view in **Appendix 9** and site plan for the filling station in **Appendix 10**.
- 2.11 Detached from the kiosk building but associated with it are other structures including a canopy over the petrol pumps, a secure storage area, and a car wash bay. The canopy over the four petrol pumps will be to a height of 4.9m with a finish colour of basalt grey to match details of the kiosk building. Immediately adjacent to the southern gable of the kiosk is the secure storage compound for storage of waste and for plant associated with the forecourt. This would be constructed of vertical timber linings to 2m in height and would have a stained finish. Just to the north of the kiosk building a cage for gas bottles is indicated. To the west of the forecourt are bays for air and water, and a further one for a jet wash. The jet wash bay is to be screened, but there are no specific details of this at present.
- 2.12 In terms of servicing, it is proposed that the development will be served by mains water and public foul drainage infrastructure, while surface water will be dispersed on-site. Vehicular and pedestrian access to the site is proposed at two points; onto Old Market Place and the New Road (A98). The former will be for the purpose of accessing the service yard area and home shopping unit only and will entail the demolition of the vacant community centre building. The latter will be for customers of the proposed supermarket and/or the petrol filling station. An additional pedestrian access point is located at the northeastern corner of the site an existing gateway through the boundary wall onto Old Market Place.
- 2.13 Car parking for the store is located between the petrol filling station at the southern end of the site and the supermarket building to the north. In this area 166 spaces are proposed including 10x disabled bays, 10x parent and child bays, 2x click and collect bays, and four bays with electric vehicle charging points. A further six parking bays (including one disabled bay) are located on the forecourt of the petrol filling station for an overall site total of 172. No details are shown on the plans submitted of the finishing to the access and site roadways, and to the parking areas.

- 2.14 Overall site sections are attached as **Appendix 6**.
- 2.15 In terms of the Local Development Plan the application site is located within the settlement boundary for Banff. It lies within the conservation area and is also specifically included within the designated Town Centre area for Banff. It has no specific allocation in terms of development type (ie housing, commercial, recreation).

2.16 Relevant planning history

- APP/2005/0184: Full Planning Permission for supermarket, access and car parking. Supported at Area Committee and decision issued on 22 May 2013. This consent has since expired as no work commenced on the development.
- APP/2005/0188: Conservation Area Consent for demolition of buildings (Community Centre, Pavilion, Garage and Showroom). Supported by Area Committee and decision issued 22 April 2005.
- APP/2007/3778: Listed Building Consent to repair store and boundary wall. Supported by Area Committee and decision issued 20 May 2008.
- APP/2013/1255: Conservation Area Consent to vary time condition for demolition of buildings (as granted under application ref APP/APP/2005/0188). Supported by Area Committee and decision issued 26 June 2013.
- APP/2013/2105: Listed Building Consent for demolition of wall, opening of inner wall, and attachment of supermarket to wall. Supported by Area Committee and decision issued 10 April 2014.
- APP/2013/3253: FPP (retrospective) for erection of 2m high mesh fence and gates. Supported at Area Committee and decision issued 28 November 2013.
- APP/2015/3080: Full Planning Permission for extension to pavilion, erection of fence, wall, formation of car park, and 4x temporary cabins. Issued under delegated powers on 8 January 2016.
- APP/2017/1944: Change of Use from Community Centre to retail, café/restaurant and soft play area. Delegated grant on 29 September 2017.
- ENQ/2021/0326: Enquiry with regard to erection of supermarket, café, petrol filling station, formation of car parking, landscaping, and access. Superseded by submission of current application, although advice had been given on design and finish of the proposed supermarket building.

2.17 Supporting documents

• Planning and Retail Statement (Peacock & Smith). This goes into detail about the submission and the pre-application process leading up to this, and provides a summary of the issues raised and conclusions reached in the other supporting documents listed below. It also goes into further detail about the calculated retail impact of the proposed new supermarket upon the existing town centre retail function in Banff and the wider area. Conclusions drawn are that the proposed development would be positive

- in social and economic terms for the town, that heritage impact (both built and natural) is minimal, and that technical matters can be satisfactorily addressed.
- Transport Assessment (Morrisons). The assessment emphasises the accessibility of the site for pedestrians and cyclists and suggests that this will be enhance through infrastructure improvements, while the vehicular access points are considered to be sufficient as proposed.
- Sustainability Statement (DDA Building Services/Consultant Engineers). Discusses the sustainability initiatives that the applicants are bringing to the design and operation of the store, and the use of renewable energy and carbon neutral technology.
- Noise Assessment. This assesses the likely impact of the development on noise sensitive receptors and concludes that this is within acceptable limits.
- Lighting Statement (DDA Building Services/Consultant Engineers). This report focuses on the external lighting design proposed for the site for the benefit and safety of customers and staff, while endeavouring to ensure that light pollution to the surrounding area is minimised.
- Heritage Statement. Considers the potential impact of the development on the conservation area for Banff and the setting of listed buildings – especially Duff House and its designed landscape. This concludes that considerable efforts have been made to formulate a design and to use materials which will blend in with the townscape of Banff and its conservation area, and that the impact of the development on the character and setting of listed buildings and the designed landscape for Duff House will be minimal.
- Framework Travel Plan (Exigo Project Solutions). Concludes by stating that a Travel Plan Co-ordinator will be appointed for the store to highlight to staff and customers sustainable transport options getting to and from the site.
- Flood Risk Assessment (CPA Consulting). This Assessment
 acknowledges the fact that the application site lies within an area liable to
 flooding, concluding that the overall risk is within acceptable limits.
- Design and Access Statement (Smith Design Associates). This
 statement highlights the design processes which have gone into the store
 design and finishes to ensure a proposal which is compatible with, and
 respectful of, its immediate environs, while providing an accessible and
 attractive shopping experience for the town and surrounding area.
- Statement of Community Consultation (Psephos Consulting Ltd).
 Details the consultation processes carried out prior to submission of the application. This includes engagement with Council Services, Ward Councillors, MSP, Community Councils, and with the public.

3. Representations

3.1 A total of 368 valid representations (183 support/185 objection) have been received as defined in the Scheme of Governance. All issues raised have been considered. The letters raise the following material issues:

In support

- Will support the local economy and businesses.
- Will reduce travel (and thus carbon footprint) for shoppers who currently drive elsewhere to shop.
- Positive impact on the town's setting.
- Will draw in custom from a wider area.
- Positive in terms of employment generation for the town.

Objecting

- Flood risk (the site and area are prone to flooding).
- Road congestion close to Banff Bridge.
- Adverse impact on established local businesses.
- Loss of Common Good land.
- Loss of recreational land.
- 62% of the community are alleged to be against the proposal.
- Adverse impact on neighbouring Princess Royal Park.
- Adverse impact on the character and appearance of the conservation area
- Adverse impact on natural heritage.

4. Consultations

<u>Internal</u>

- 4.1 **Environment and Infrastructure Services (Archaeology)** notes that Archaeological remains may exist beneath the ground surface at this site. In the event that the application is to be supported, a condition of consent is recommended requiring the submission of a written scheme of investigation to be submitted for the approval in writing of the planning authority.
- 4.2 Environment and Infrastructure Services (Built Heritage) did not object to the proposals but did request that details of the home shopping unit and petrol filling station be revisited and that landscaping be enhanced to reduce the visual impact of the car parking area. In response to this, revised plans were submitted showing a natural stone clad frontage to the main (western) elevation of the petrol filling station together with enhanced landscaping plans including greater detail on the maintenance. No revised plans were submitted in respect of the home shopping unit.
- 4.3 **Environment and Infrastructure Services (Contaminated Land)** does not require the submission of any further information in support of the application.
- 4.4 **Environment and Infrastructure Services (Environmental Health)** does not object to the application, subject to conditions relating to noise and light pollution in the event of permission being granted.
- 4.5 Environment and Infrastructure Services (Flood Risk and Coast Protection) objects to the development sited on a functional floodplain and

- states that the Flood Risk Assessment submitted in support of the application does not satisfactorily address this issue.
- 4.6 Environment and Infrastructure Services (Natural Heritage) does not object to the scheme but suggests that further detail should be submitted relating to additional landscaping to mitigate the impact of the development, the nature of the landscaping, and a maintenance regime for this once implemented. In response to this a detailed landscaping plan was submitted indicating the nature of the landscaping to be provided and that which is being retained on site. Detail is also provided of maintenance.
- 4.7 Environment and Infrastructure Services (Roads
 Development/Transportation) has issued a holding objection in respect of
 the development proposal. There is no objection to the proposal in principle,
 although further detail is expected including a pedestrian link to the east and
 Bridge Road, a pedestrian crossing facility on Bridge Road, and detail of
 enhanced pedestrian and cycle access at the main site entrance onto New
 Road. There is also adverse comment with regard to the suitability of access
 and pedestrian/cycle movement within the site, while the simple priority
 junction onto the A98 is insufficient particularly at the specific location
 shown.
- 4.8 **Environment and Infrastructure Services (Waste Management)** does not object to the application but asks that the design and site layout ensures that large refuse vehicles can access and turn within the site.

External

- 4.9 **Historic Environment Scotland** advises that the application site area lies on land which falls within the original designed landscape area for Duff House, and that the proposed development would impact on a number of listed buildings.
- 4.10 Scottish Environmental Protection Agency (SEPA) objects to the development on the basis that it is on a functional floodplain and may increase the risk of flooding in the surrounding area if developed. Only development of similar footprint area to the existing community centre could be accepted, and of the same vulnerability (eg. community or commercial, but not residential). SEPA highlights the content of the supporting Flood Risk assessment which indicates the potential for floodwater to a depth of 2.5m across the site, with insufficient mitigation.
- 4.11 **Scottish Water** does not object to the application, noting that there is capacity for foul drainage to service the site only, and not surface water. Water supply capacity cannot be guaranteed and should be the subject of a pre devilment enquiry to establish whether sufficient capacity exists in the supply.
- 4.12 **Sport Scotland** initially objected to the application due to the loss of a sports pitch. Following consideration of further information and especially the

mitigation measures put in place resulting from a previous application on the same site, the objection has been withdrawn.

5. Relevant Planning Policies

5.1 <u>National Planning Framework 4 (NPF4)</u>

Scotland's fourth National Planning Framework (NPF4) is a long-term plan looking to 2045 that guides spatial development, sets out national planning policies, designates national developments, and highlights regional spatial priorities. It is part of the development plan, and so influences planning decisions across Scotland.

On 13 February 2023 (0900am) Scottish Ministers adopted and published National Planning Framework 4 (NPF4), meaning that it is in force and National Planning Framework 3 and Scottish Planning Policy are superseded from that date and time. This will also have the effect that all strategic development plans and any supplementary guidance issued in connection with them cease to have effect on that date. As such the Aberdeen City and Shire Strategic Development Plan 2020 has now ceased to have effect. The NPF4 now forms part of the development plan along with the Aberdeenshire Local Development Plan 2023.

Policy 1: Tackling the climate and nature crises

Policy 3: Biodiversity

Policy 7: Historic assets and places

Policy 9: Brownfield, vacant and derelict land and empty buildings

Policy 13: Sustainable transport Policy 14: Design, quality and place

Policy 15: Local living and 20 minute neighbourhoods

Policy 18: Infrastructure first Policy 19: Heating and cooling

Policy 22: Flood risk and water management

Policy 23: Health and safety

Policy 27: City, town, local and commercial centres

Policy 28: Retail

5.2 <u>Aberdeenshire Local Development Plan 2023</u>

On 13 January 2023 the Aberdeenshire Local Development Plan 2023 was adopted.

Policy B1: Town Centre Development Policy P1: Layout, Siting and Design

Policy P2: Open Space and Access in New Development

Policy P4: Hazardous and Potentially Polluting Development and

Contaminated Land

Policy E1: Natural Heritage

Policy HE1: Protecting Listed Buildings, Scheduled Monuments and

Archaeological Sites (including other historic buildings)

Policy HE2: Protecting Historic, Cultural and Conservation Areas

Policy C1: Using Resources in Buildings

Policy C4: Flooding

Policy RD1: Providing Suitable Services

5.3 Other Material Considerations

Planning Advice 2023-19: Town Centre Impacts

- Town Centre Health Checks 2022 (Banff, Macduff, and Turriff)
- ALDP 2023 Appendix 3 Regeneration Priority Areas
- North East Local Flood Risk Management Plan (2022-2028)

6. Discussion

- 6.1 Although this application does not fit the criteria to be classed in hierarchy terms as a 'Major', it is nevertheless a significant proposal in the context of the town of Banff and there are several key policy issues to be addressed. Amongst these are the principle of development of the site for retail purposes, its impact on the setting of the town and in particular the conservation area and also, critically, site servicing and the potential for flooding. These matters are all addressed in detail below.
- 6.2 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires where, in making any determination under the planning Acts, regard is to be had to the development plan, and the determination is, unless material considerations indicate otherwise, to be made in accordance with that plan.

Principle

6.3 In terms of the site's location and designation, the 2023 Local Development Plan identifies the application site as situated within the defined settlement boundary for the town of Banff, within the defined Town Centre area, and also within the defined conservation area boundary for Banff. Given the location, the principle for development of a supermarket on the site is therefore acceptable in the first instance, although as already noted there are other factors and policy considerations which will ultimately determine the recommendation whether to grant or refuse permission.

Built Heritage

As highlighted above, the application site is located within the conservation area for Banff and close to a number of listed buildings; principal amongst which is Duff House within whose original Designed Landscape Area the site is also located. As such the application requires to be assessed against Local Development Plan policies HE1 (Protecting Listed Buildings, Scheduled Monuments and Archaeological Sites (including other historic buildings)) and HE2 (Protecting Historic, Cultural and Conservation Areas) and against NPF4 Policy 7 (Historic assets and places). This is a matter also highlighted in some of the representations objecting to the proposal, citing adverse impact on the character and appearance of the conservation area.

- 6.5 Given the sensitive location of the site and the potential impact of new development on the conservation area for Banff and the setting of listed buildings, the applicants sought pre-application advice from the Council on the design and finishes of the proposed supermarket building. Comments were offered in relation to the design and finishes and these are reflected in the proposals submitted for the application. Notwithstanding this, the Built Heritage team sought some amendments to the application plans as submitted; specifically the finishes of the Home Shopping Unit and to the kiosk at the Petrol Filling Station, while details of landscaping to mitigate the impact of the development were also sought. In response to this amended plans were submitted for the kiosk indicating a stone cladding finish to the main elevation of the building, together with a detailed landscaping plan. The former results in a much more appropriate finish to the principal and most public elevation of the building, while the latter provides detail of existing planting to be retained and of additional new planting which will help mitigate the impact of the new development on the townscape of Banff. No revised plan was submitted in respect of the Home Shopping Unit.
- 6.6 It is considered that generally the design and material finishes have taken cognisance of the sensitive location of the site, and positive comments in consultation responses from Historic Environment Scotland and the Council's Built Heritage team reflect that. Notwithstanding this, it is still the view of the Planning Service that there are elements of the design and finishes which could be made more sympathetic; notably that of the Home Shopping Unit which is relatively open to view from the south the most public aspect of the development. There is also insufficient detail of the finishes to the proposed jet wash bay at the filling station. In the event that the application were to be supported, these matters could be dealt with by suspensive conditions. It would also be appropriate to attach a condition requiring that samples of the proposed natural stone finish for the walls of the supermarket and filling station kiosk be submitted for approval to ensure an appropriate material is used.
- 6.7 Taking all the above into consideration the view of the Planning Service is that the proposed development is largely in accordance with the pertinent Local Development Plan and NPF4 policies noted above.
 - Layout, siting and design
- 6.8 This is a matter inextricably linked with that of Built Heritage given the application site's location in the conservation area for Banff, within the designed landscape area for Duff House, and its potential to impact on the character and setting of listed buildings. These matters are addressed in more detail above.
- 6.9 Prior to submission of the application there was dialogue between the agents, applicants, and the Council (including the submission of draft plans) for consideration and comment. The Council made it very clear at this stage that the location was a very sensitive one and that the layout, design, and finishes of any new development would have to recognise this in a development form

which complemented and reflected its surroundings and did not detract from the overall character and setting of the town. Comments provided by the Planning Service were taken on board by the applicants and their agents, and the plans submitted with the application largely reflect those. As discussed elsewhere, further comments from consultees have resulted in some amendments to the plans as originally submitted with the application, although there is scope for further amendments and planning conditions (in the event of approval) to ensure that finishes are appropriate to the location.

- 6.10 In policy terms the proposal is broadly in compliance with NPF4 Policy 9 (Brownfield, vacant and derelict land and empty buildings) in that it would result in the demolition of the redundant former community centre on Old Market Place and the pavilion building currently on Canal Park; both of which are falling into disrepair and/or have become the target of vandalism. This could be viewed as a positive factor of the development.
- Policies P1 (Layout, Siting and Design) of the Local Development Plan and 14: (Design, quality and place) of NPF4 place emphasis on the need to ensure that new development is of a high standard appropriate to its location, and that it is compatible with its immediate environs. As described at the start of this report in the description of the development, the design of the main supermarket building is contemporary, yet incorporates material finishes and a colour palette designed to reflect those of the existing townscape and to complement rather than detract from the surrounding area. The main supermarket building is not overly tall, and when viewed from the main public aspects to the east, south, and south west it will be set against a backdrop of buildings of equal or greater height. Thus its visual impact will be mitigated to a degree. A further factor in this respect is the positioning of the proposed store within the site. Had it been located toward the southern end of the site it would have been far more intrusive visually on the character and setting of the town. Viewed from the north on Old Market Place the new building would lie behind the 2m+ high historic wall and the Old Smiddy which front the roadway. These will offer a degree of visual screening, although the supermarket building will be taller than these and the upper walls will thus be visible. This is, though, arguably not the most important or sensitive public aspect of the development.
- 6.12 The proposed Home Shopping Unit to be located to the west of the main building would offer less potential visual impact by virtue of its lesser bulk and height; also benefitting from the backdrop of the existing townscape and partial screening of other buildings. Notwithstanding this, it will be visible from the south in particular and as described above would benefit from the use of a more muted finish. This could be covered by the use of a suspensive planning condition.
- 6.13 At the southern end of the site lies the proposed petrol filling station with its kiosk building, canopy, and ancillary structures. Closest to the main A98 roadway through Banff, this has the potential to be very prominent and thus visually intrusive. The position benefits, however, from being below the level of the main road by around two metres, and when viewed from the east and

south east would be considerably mitigated by the existing Co-op store, the electricity substation building, and by existing tree and shrub screening along the boundary. Viewed on approach from the west the Co-op building will offer an existing backdrop as mitigation. It is thus considered that there is sufficient mitigation in this location for the proposals, albeit that details are required of ancillary structures – a matter which could be dealt with by suspensive conditions.

6.14 The conclusion thus is that the proposals are largely in accordance with the policies noted for layout, siting, and design and for the redevelopment of brownfield sites and redundant buildings. As mentioned, the remaining matters of concern could be addressed through the use of suspensive planning conditions.

Technical issues

6.15 The technical issues to be considered in the assessment of this application relate to servicing of the site, flood risk, and the potential for contamination. As highlighted at the start of this discussion, while the principle of development on the site may accord with Local Development Plan_allocations for Banff, there are Development Plan and NPF4 policies which are significant considerations relating to site servicing and which ultimately will determine the recommended decision for this application.

Access

- 6.16 As highlighted in section 4 of the report above, the Council's Roads Development/Transportation Service has submitted a holding objection to the development, citing a number of issues which require to be addressed; not least of which is the access by simple priority junction onto the A98 (New Road) where a right-turn stacking lane would be sought as a minimum requirement. This would have obvious implications for the internal layout of the site given the additional land take required to accommodate the stacking lane and realignment of the carriageway. Some adjustment to the site access road would almost certainly be required, and further works to the embankment, albeit that this may all be possible within the existing application site boundary and may not alter the description of the development. Added to this are the matters relating to pedestrian and cycle access to, and within, the site. Concerns with regard to access to the site and road congestion are also matters which have been raised in the letters of representation.
- 6.17 The applicants have been aware of the need to address these concerns in order to make the likelihood of a positive recommendation on the application more likely, but have not submitted any further information or amended plans to date over 18 months since the Roads/Transportation comments were received.
- 6.18 Local Development Plan Policy RD1 (Providing Suitable Services) requires that: 'When development requires the formation of new accesses, these should be designed to the agreed standard, and must be resource-efficient,

- safe and convenient for cyclists, pedestrians and public transport. New accesses should also cause minimal impact on the character of the site and surrounding area and satisfactory arrangements for future maintenance of these access facilities should also be made'._
- 6.19 NPF4 Policy 18 (Infrastructure first) states that: 'The impacts of development proposals on infrastructure should be mitigated. Development proposals will only be supported where it can be demonstrated that provision is made to address the impacts on infrastructure'.
- 6.20 In summary, the proposals as submitted are not considered to meet the required standards for vehicle, pedestrian, and cycle access and thus not to be in accordance with Local Development Plan Policy RD1 and NPF4 Policy 18. Whilst it might be possible to apply a suspensive condition to a positive recommendation requiring the submission of amended access details to the satisfaction of the Council as Roads Authority, in the absence of further details or an indication of the extent of material changes that may be necessary there remains the possibility that the revisions may require an entirely new planning application to be lodged. For this reason the use of a suspensive condition is not considered to be appropriate or acceptable by the Service.

Flooding constraints

- 6.21 Both SEPA and the Council's Flood Risk and Coast Protection Team have objected to the planning application at Canal Park. Specifically, the objections highlight that the site is fully within the functional floodplain. This indicates that there is a medium to high risk of flooding from the River Deveron. SEPA additionally advises that, as the site lies adjacent to an area at medium to high risk of coastal flooding, there is an increased flood risk resulting from combined impacts of these sources. It is noted that NPF4 Policy 22 Flood risk and water management seeks to strengthen resilience to flood risk by avoiding development in areas at risk as a first principle. Local Development Plan policy C4 also states that in such areas no development should be permitted, with the exception of the following;
 - It is a development to alleviate flooding or erosion of riverbanks or the coast:
 - It is consistent with the flood storage and conveyance function of a floodplain;
 - It would otherwise be less affected by flooding (such as a play area or car park);
 - It is essential infrastructure. The location is essential for operational reasons for example for water-based navigation, agriculture, transport or utilities infrastructure and an alternative lower risk location is not available.
- 6.22 The policy further states that: 'If development is to be permitted on land assessed as at a medium to high risk of flooding it should be designed to be flood resilient for the lifetime of the development (this is normally a minimum of 100 years for residential development) and use construction methods to

- assist in the evacuation of people and minimise damage. It must not result in increased severity of flood risk elsewhere through altering flood storage capacity or the pattern and flow of flood waters'._
- 6.23 Letters of representation also state that the site is unsuitable for development given its propensity to flood.
- 6.24 In considering this matter further, in the context of the current application, the North East Local Flood Risk Management Plan (2022- 2028) was approved by the Infrastructure Services Committee (December 2022). The Plan provides "...the blueprint upon which the Scottish Environment Protection Agency (SEPA), local authorities and Scottish Water and any other responsible authorities will deliver their flood risk management duties under the Flood Risk Management (Scotland) Act 2009"."
- 6.25 This report identifies 23 areas as being potentially vulnerable to flood risk across the North East Local Plan District and these have been designated as Potentially Vulnerable Areas (PVAs). Banff is identified as a PVA and objectives have been set by SEPA and agreed with Council's Flood Risk and Coast Protection Team following consultation.
- 6.26 In Banff the agreed objectives are:
 - i. avoid an overall increase in flood risk,
 - ii. reduce overall flood risk, and;
 - iii. organisations such as utility companies and Historic Environment Scotland should actively maintain and manage their own assets.
- 6.27 There is no flood prevention scheme identified for Banff in the current North East Local Flood Risk Management Plan, which extends to 2028, and there is no clear indication at this time as to when such a scheme could come forward. It should also be noted that any potential flood prevention scheme cannot be developed in isolation by a developer. There is no short to medium term plan tabled by the Council and its partners to address the flooding of the Canal Park site.
- Notwithstanding the information pertaining to the North East Local Flood Risk Management Plan, the Council's Flood Risk and Coast Protection Team has advised further on flood protection. They have advised that a Flood Study for Banff including the identification and feasibility of preferred flood protection option is likely to take between 18 and 24 months, including appropriate consultation with stakeholders and the public. The Team has also indicated that to build an actual flood scheme (providing suitable funding could be found) could take around a further 6 to 10 years. It is also worth noting that Aberdeenshire Council must exercise its flood risk related functions with a view to reducing overall flood risk and, in particular; must exercise their function under Part 3 of the Flood Risk Management (Scotland) Act 2009 (Section 1) which promotes a 'Plan Lead Approach'. Banff is not included in the Plan for a future flood study and therefore not included in any national prioritisation for a flood scheme. If the Council was to promote a flood

- protection scheme for Banff without it being in a flood risk management plan, then this could also breach Section 41 of the 2009 Act.
- 6.29 Further recent correspondence from SEPA confirms that it could accept redevelopment of the existing community centre building or demolition and rebuilding to a similar footprint area, but not at any increased risk, such as development on lower ground or any development involving land raising. The community centre has a footprint of circa. 900 sqm. and is two storeys to the front, facing Bridge Street, with a larger single storey element to the rear. There is some land to the east and south of the site that makes the total site circa. 1500 sqm. There is a small forecourt to the front of the building, but the site does not benefit from any further dedicated car parking. To consider a change of use as a potential option the building would clearly need to be retained. The existing arrangement means that if the existing building were to be retained it could not be serviced by vehicles typical of supermarket operations. Furthermore, if the community centre site were to be cleared the site would not be sufficiently large enough to accommodate a store of the size proposed with associated servicing, access and parking arrangements.
- 6.30 Following receipt of the consultation responses the Planning Service has engaged in dialogue with the applicants to determine whether a solution to the potential flooding issue could be found. As discussed above, the conclusion reached by the Council in dialogue with SEPA was that any solution to the matter would require significant engineering works at considerable cost, and quite probably that third party land would be involved. While it is understood that the applicants have been looking at solutions to the issue to support their current application, to date none has been put forward for consideration. However it is also clear from discussion between the Council's Flood Risk and Coast Protection Service and SEPA that any flood mitigation scheme for Banff would require to address the whole of the affected area in Banff and not just the current application site.
- 6.31 It is thus apparent that there is no realistic prospect of a satisfactory scheme of flooding mitigation for the application site and the wider affected area of Banff at risk of flooding being brought to fruition in the foreseeable future. With this borne in mind the only conclusion that the Planning Service can arrive at is that the development as currently proposed is at risk of flooding itself and would exacerbate the risk of flooding in the surrounding area, and therefore does not accord with policy C4 (Flooding) of the Local Development Plan and Policy 22: (Flood risk and water management) of NPF4.
- 6.32 Whilst it remains a possibility that a solution could be found to address the objections of SEPA and the Council's Flood Risk and Coast Protection Service, the likelihood is that this may not be achievable, nor would it be forthcoming within a reasonable timescale, based on the information set out above. The use of a suspensive condition to address this matter is not thus considered to be appropriate or acceptable under these circumstances.

- 6.33 ALDP 2023 Policy B1 (Town Centre Development) states that new retail will only be allowed in defined town centres unless a sequential assessment shows that another site is clearly more appropriate. A retail impact assessment may be required for retail and leisure proposals with a gross floorspace below 2,500m² which may threaten the vitality and viability of an existing centre. There is no conflict between NPF4 Policy 27 and ALDP 2023 Policy B1.
- 6.34 NPF4 intends to direct retail investment to the most sustainable locations that are most accessible by a range of sustainable transport modes. In addition, development should provide communities with easy access to the goods they need. LDPs should consider where there may be a need for further retail provision, this may be when allocating sites for housing or the creation of new communities, in terms of the need for neighbourhood shopping and supporting local living.
- 6.35 NPF4 Policy 27 (City, town, local, and commercial centres) provides the most up-to-date policy context against which to assess the application. The policy intents for NPF4 are to encourage, promote, and facilitate development in our town centres by applying the Town Centre First (TCF) approach to help them adapt positively to long-term economic, environmental, and social changes. The application must also be considered against ALDP 2023 Policy B1 (Town Centre Development), along with Appendix 2 (Retail Centres).
- 6.36 NPF4 Policy 28a) states that development proposals for retail will be consistent with Town Centre First principles. This means that new retail proposals:
 - i. will be supported in existing city, town and local centres;
 - ii. will be supported in edge-of-centre areas or in commercial centres if they are allocated as sites suitable for new retail development in the LDP; and
 - iii. will not be supported in out of centre locations (other than those meeting policy 28(c) or 28(d)).
- 6.37 NPF4 Policy 28b) states that proposals for retail that are consistent with the sequential approach (set out in a)) and click-and-collect locker pick up points, will be supported where the proposed development:
 - i. is of an appropriate scale for the location;
 - ii. will have an acceptable impact on the character and amenity of the area: and
 - iii. is located to best channel footfall and activity, to benefit the place as a whole.
- 6.38 Having established that the development is consistent with sequential approach, NPF4 Policy 28b) is supportive of retail proposals where points i-iii) have been satisfied. Taking each in turn:
 - i. is of an appropriate scale

- 6.39 The scale of the development is considered in more detail within the siting, layout, and design section of this assessment above. It is the view of the Planning Service that the use of the term, 'appropriate scale for the location' in the text of Policy 28b relates to the physical size of the building, that meaning the relationship between the size of an object and something else. An assessment has been made on this basis.
 - ii. will have an acceptable impact on the character and amenity of the
- 6.40 The Planning Service is content that the proposed scale, massing, and materials will offer a local distinctiveness and identity for the development but that this is appropriate and would not appear incongruous. The scale of the building is considered proportionate in form and would not dominate the site or the wider setting leading the Planning Service to conclude the development is of an appropriate scale.
 - iii. is located to best channel footfall and activity, to benefit the place as a whole.
- 6.41 As the site occupies a Town Centre location it complies with the aims of the Local Development Plan to support town centres.
- 6.42 Amongst the documentation submitted with, and in support of, the application was a Planning and Retail Statement produced by the agents on behalf of the applicants. This concluded that impact of the proposed store upon existing retail businesses in the town and surrounding area would be within acceptable limits, as well as highlighting that the site lies within the defined Town Centre Area.
- 6.43 The Retail Statement has been assessed by the Planning Service, concluding that diversion to the new store from existing businesses in the town centre is likely to be in the region of 10%. This is considered to be an acceptable level of impact with the caveat that trade which currently diverts to other centres will be recaptured. The following observations are made;
 - Within Aberdeenshire, the approach taken to Retail planning is based on a
 "class of good" or "like for like" approach. This proposal could have an
 impact on convenience food retailers within the existing town centre. We
 would agree that there is a qualitative and quantitative need for a major
 food retailer in the area and that impacts on other major food retailers in
 their town centres will be minimal, as a result of diffusion of the diverted
 retail spend from multiple centres.
 - The impacts on food retailers in Banff Town Centre retailers (Tesco, Coop) may be significant. At the last assessment (Aberdeenshire Retail Assessment 2013), Banff, Macduff, and surrounding area was estimated to generate a retail convenience expenditure of £31.8m in 2022, with 45% of this expenditure "leaking" to other centres.
 - Based on the turnover estimates provided in the Planning and Retail Statement a turnover of £17.43m is anticipated. This figure is £3.12m

- greater than the current estimate of leakage from the area (£14.31m) and an impact of approximately 18% on existing convenience turnover in the town, assuming parity in leakage and draw in respect to other centres (i.e. leakage continuing to other centres is balanced by draw from the existing centre).
- However, estimated turnover for Banff Town centre is £29.0m. This trade diversion to the new store from the existing centre is therefore likely to be only in the region of 10.1%. This would be an acceptable level of impact and would be unlikely to adversely effect other businesses in the town centre, with the caveat that all trade currently diverted to other centres is recaptured.
- These figures are now also influenced by the approval by Aberdeenshire Council of APP/2021/2526 for the Erection of a Retail Foodstore (Class 1) with Associated Car Parking, Access, Landscaping and Associated Works at Duff Street, Macduff. This proposal will have the impact of reducing the leakage from Banff and Macduff to other centres and adding to the cumulative retail impact of the Canal Park proposal. It was estimated that Trade draw from Banff from this proposal would constitute £2.1m diversion. This would have the effect of raising cumulative diversion from Banff Town Centre to £16.4m, reducing turnover in Banff town centre, and increasing the retail impact of the proposal on the existing floorspace within Banff Town Centre, Retail impact on Banff Town Centre would therefore rise. On the basis that the new store will recapture trade from the proposed Aldi, (ie Leakage to the approved Aldi store will be recaptured by this store) the effect is likely to be a negligible increase in the scale of impact on Banff Town Centre.
- In formulating the assessment above, retail turnover of the proposed store is compared as a percentage of the retail turnover by goods type (food) in the centre and the estimated leakage (by type) to other centres. It assumes that leakage is fully addressed and what remains is the percentage impact on the town centre; i.e. turnover of the proposed store is made up of expenditure not currently being spent in the centre (and being spent in Elgin, Turriff, and Fraserburgh, for example) and trade draw from the existing centre. It is acknowledged that the conclusions are based on figures derived from a study undertaken 10 years ago, and based on turnover per square metre estimates, and retail flows between centres at that time, but the 2014 study compensated for that by providing predictions of future turnover for future years.
- 6.45 The conclusion is thus that whilst in principle the proposed supermarket may be in compliance with the Local Development Plan and NPF4 policies quoted above, the cumulative impact of the proposed development at Canal Park in Banff when added to the approved supermarket in neighbouring Macduff could have a greater impact on established town centre businesses. This has, however, not been fully assessed. In part this is due to the lack of an updated and cumulative retail impact statement in support of the current application, but the availability of Canal Park as a viable site for retail development, of the scale proposed, has also been called into question by the responses of SEPA and the Council's Flood and Coast Protection Service on flooding grounds. As such, it would be unreasonable to insist on submission of an amended retail

impact statement while other apparently insurmountable issues remain. The agent was asked to update their retail statement to include the cumulative retail impact of the current application site and the approved supermarket development in Macduff, however they have declined to submit such information and have not presented any further information to the Service to assess.

6.46 Furthermore, the Service's assessment of retail impact suggests that impact on the current town centre may be within acceptable limits. As a consequence, therefore although the agent has declined to submit a cumulative retail assessment to demonstrate that it would not have an adverse cumulative retail impact on existing Banff town centre businesses, neither has assessment by the Service shown conclusively that it would have an adverse impact. As it stands, and on balance, the proposal is thus not considered to be contrary to LDP Policy B1 and NPF4 Policies 27 and 28.

Other matters

- 6.47 The loss of open space used by the public and a sports pitch is a policy consideration and indeed has been referred to in several letters of representation objecting to the proposal. As detailed in the consultation section of the report above, this was initially taken up in a consultation response from Sport Scotland which objected to the proposals for that reason. In a later response, however, Sport Scotland withdrew its objection to the development, making reference to a previously consented development on the site through which enhanced sports facilities and additional pitches for Banff and Macduff had been secured and delivered as compensation for the loss. Given this and the allocation of the site in the Local Development Plan as a Town Centre site, there is considered to be no policy conflict in this respect.
- 6.48 Further objection was made in respect of the potential for adverse impact on natural heritage interests, although the Natural Heritage Service has provided comments in respect of the application, does not object, and no natural heritage concerns are noted.

Common Good land

- 6.49 There are several references in the representations to the loss of Common Good land but this is a legal rather than a planning matter and cannot thus be taken into consideration in the determination of this planning application. Nevertheless, a comment on the current situation pertaining to this is warranted.
- 6.50 For clarification, in order to release this land, the Council would require to obtain a Common Good Order from the Court of Session. A public consultation was undertaken in contemplation of such a petition being lodged in connection with the sale of Canal Park to the applicants. At the date of writing this report, a petition for a Common Good Order in respect of Canal Park has not been lodged by the Council. Whilst the Planning Service cannot

comment more specifically on that process or prejudge the outcome, it is likely that local interest groups would object to the petition. Legal & People (Conveyancing & Property) advise that an opposed Common Good petition could take between 12 and 18 months to be dealt with by the Courts, with no guarantee that an Order would be granted.

6.51 To reiterate, this has no bearing on determination of the current planning application.

Representations

6.52 As detailed in the report above, a significant number of representations were received, both for and against the application. The issues raised in those representations have been addressed in the text of the report above, and no further discussion of the matters raised is required.

Conclusion

- 6.53 The principle of a supermarket on the site may be acceptable in terms of the site's Local Development Plan allocation and details of the main building's design and finish may be considered appropriate to the location, whilst there would almost certainly be social and economic benefits to the development. However, there are issues relating to site access and especially to site flooding and drainage which have not been and indeed may not be able to be satisfactorily addressed. It thus remains a significant concern that the current access proposals for the site are unacceptable on that basis, and even more so that the potential for the site to flood cannot be satisfactorily mitigated for the foreseeable future.
- 6.54 The conclusion therefore must be that the proposal as it stands is not in accordance with both Local Development Plan and NPF4 policies specific to access and to flooding/drainage, and as such that the recommendation must be to Refuse Full Planning Permission.

7. Area Implications

7.1 In the specific circumstances of this application there is no direct connection with the currently specified objectives and identified actions of the Local Community Plan.

8. Implications and Risk

- 8.1 There are no staffing and financial implications.
- 8.2 There are no risks identified in respect of this matter in terms of the Corporate and Directorate Risk Registers as the Committee is considering the application as the planning authority in a quasi-judicial role and must determine the application on its own merits in accordance with the Development Plan unless material considerations justify a Departure.

8.3 No separate consideration of the current proposal's degree of sustainability is required as the concept is implicit to, and wholly integral with, the planning process against the policies of which it has been measured.

9. Departures, Notifications and Referrals

9.1 <u>Development Plan Departures</u>

Policy RD1: Providing Suitable Services

Policy C4: Flooding

Policy 18: Infrastructure first

Policy 22: (Flood risk and water management)

Policy B1: (Town Centre Development)

Policy 27: (City, town, and local commercial centres)

Policy 28: (Retail)

- 9.2 The application is a Departure from the valid Development Plan and has been advertised as such. Any representations received have been circulated as part of the agenda and taken into account in recommending a decision. The period for receiving representations has expired.
- 9.3 The application falls within one of the categories contained in the Schedule of the Town and Country Planning (Notification of Applications) (Scotland)

 Direction 2009 and therefore requires to be notified to the Scottish Ministers prior to determination.
- 9.4 The application would not have to be referred to Infrastructure Services Committee in the event of the Area Committee wishing to grant permission for the application.

10. Recommendation

10.1 REFUSE for the following reasons:-

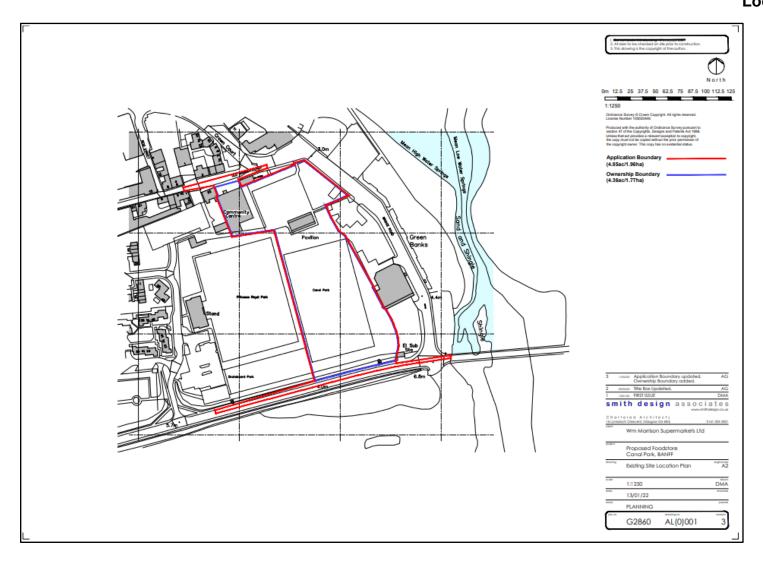
- 1. The proposed development fails to comply with Local Development Plan Policy RD1 (Providing Suitable Services) and NPF4 Policy 18 (Infrastructure first) in that it has not been satisfactorily demonstrated that appropriate infrastructure can be provided to enhance access by sustainable transport means, and the proposed vehicular access onto the A98 is not considered to be acceptable.
- 2. The proposed development fails to comply with Local Development Plan Policy C4 (Flooding) and NPF4 Policy 22: (Flood risk and water management) in that it has not been demonstrated that the site can be developed as proposed without exacerbating the risk of on-site flooding and enhancing the risk to surrounding properties.

Alan Wood

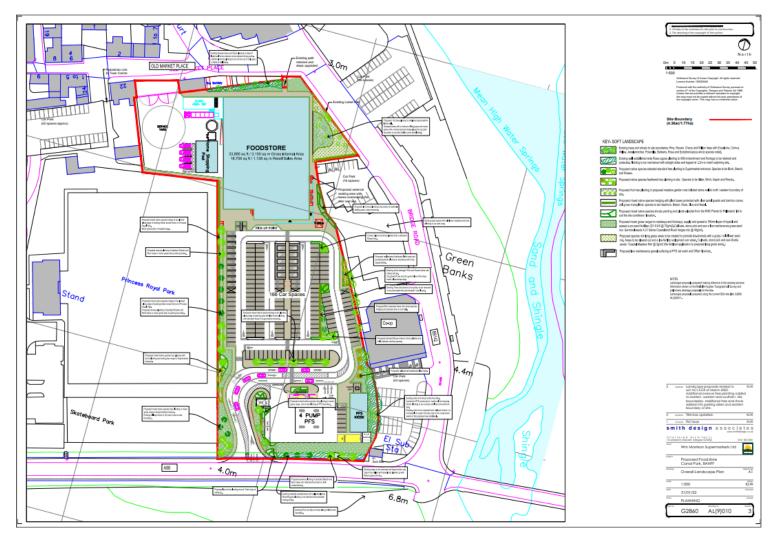
Director of Environment and Infrastructure Services

Author of Report: Jim Martin Report Date: 01.03.2024

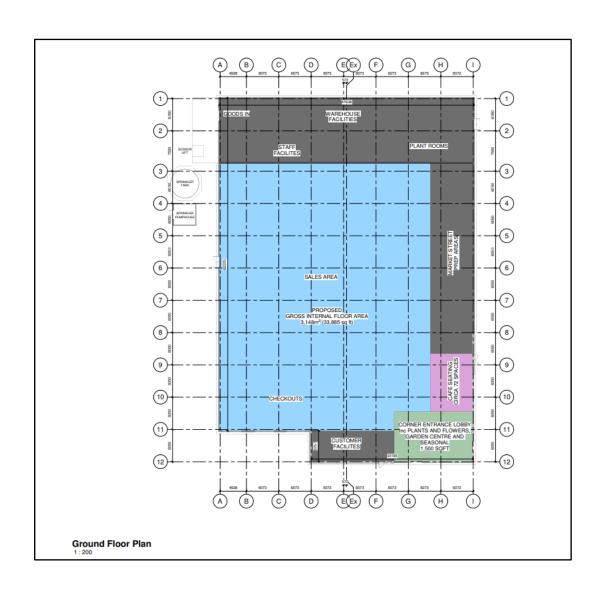
Appendix 1 Location Plan



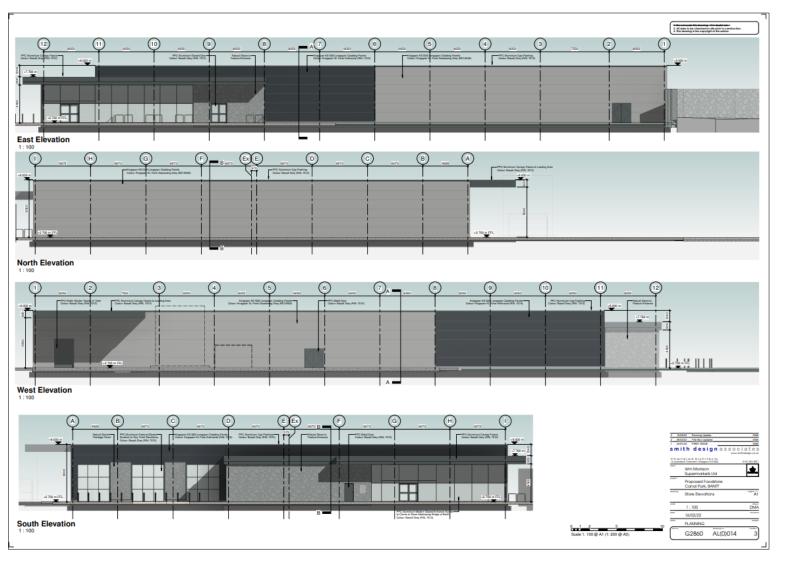
Appendix 2 Overall Landscaping Plan



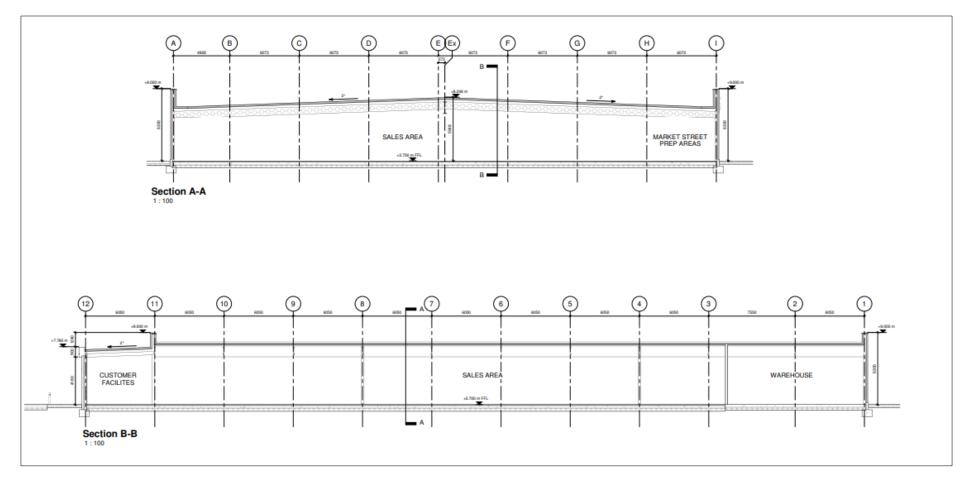
Appendix 3
Ground Floor Plan



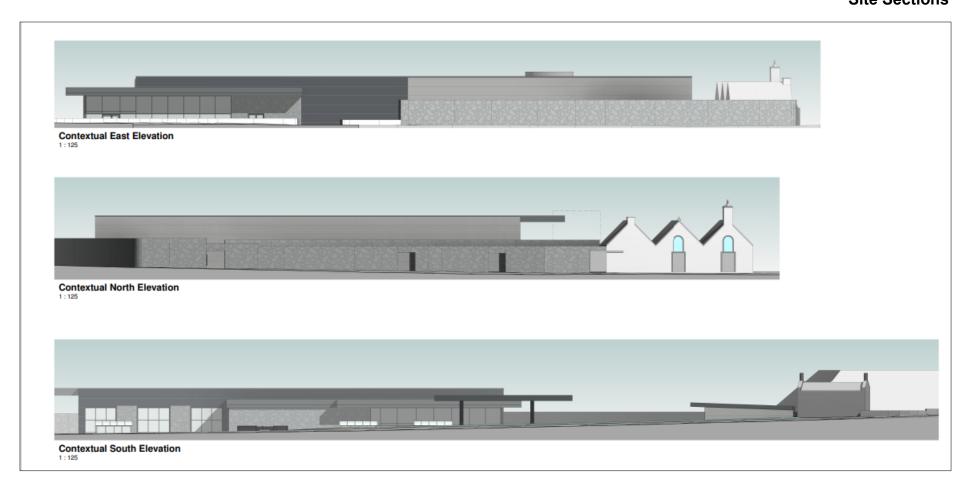
Appendix 4
Proposed Elevations



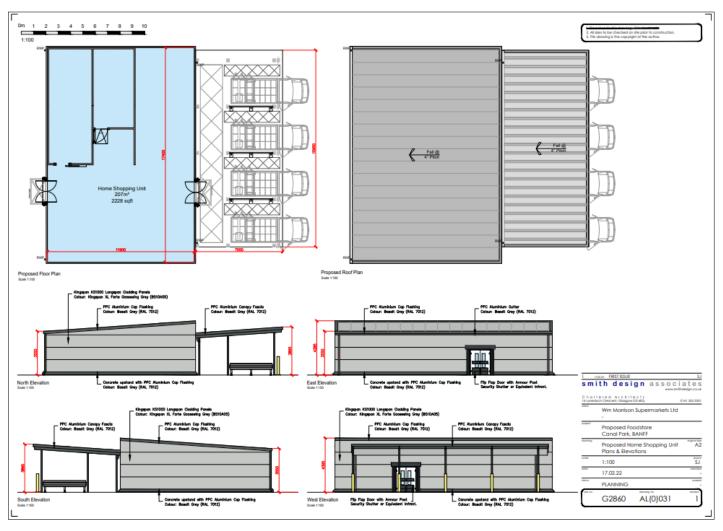
Appendix 5
Store Sections



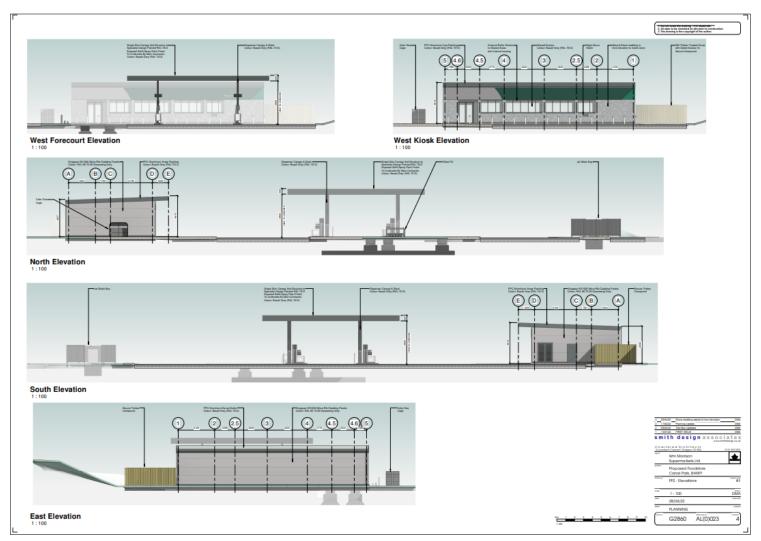
Appendix 6 Site Sections



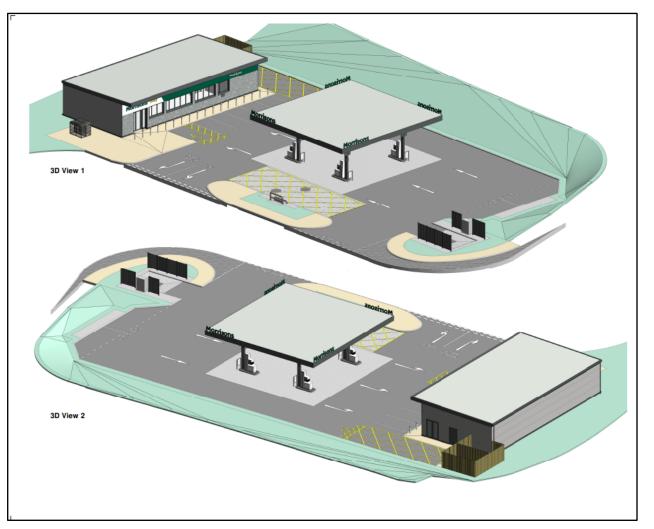
Appendix 7
Proposed Home Shopping Unit



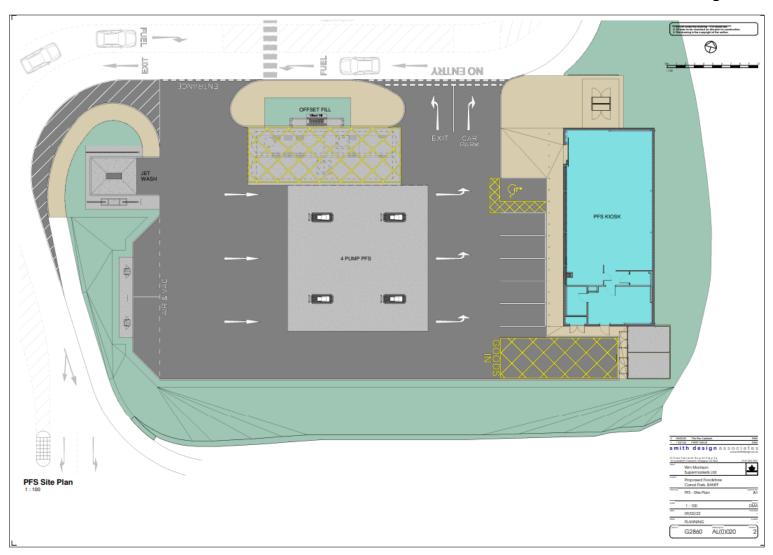
Appendix 8
Petrol Filling Station



Appendix 9
Petrol Filling Station 3D View



Appendix 10
Petrol Filling Station Site Plan





REPORT TO BANFF & BUCHAN AREA COMMITTEE - 12 March 2024

DEVELOPING EXCELLENCE IN OUR NORTH COAST COMMUNITIES – FINAL PROGRAMME REPORT

1 Executive Summary/Recommendations

1.1 This report provides the Committee with a final report on the regeneration strategy: Developing Excellence in our North Coast Communities for Banff, Macduff and Fraserburgh highlighting the progress achieved across the programme.

1.2 The Committee is recommended to:

1.2.1 Note the report and comment to ISC on the contents of the reports in Appendices 1 and 2.

2 Decision Making Route

- 2.1 On 17 March 2016, Infrastructure Services Committee (ISC) (Item 17), approved a new Regeneration Strategy, "From Strategy to Action: Developing Excellence in our North Coast Communities" which concentrates regeneration efforts in the four northern towns of Banff, Macduff, Fraserburgh, and Peterhead. The Committee also agreed the plan for each town and budget allocations to the plans, summarised in the table in section 3.4 below.
- 2.2 Progress update reports have been submitted to the Banff & Buchan Area Committee every six months and to Infrastructure Services Committee annually, except for the period covering the height of the Covid-19 pandemic when the work of the Regeneration and Town Centres team was effectively refocused on business response and recovery tasks. The previous update report was discussed by the Committee on 23rd May 2023 (Item 9), and the Committee requested that officers report to Committee with a final report as the plans reach their concluding stages. At their meeting on 24th August 2023 (Item 6), ISC also requested that a final programme report be submitted by May 2024.

3 Discussion

3.1 Whilst this report completes this format of reporting on the Vision and Action Plans across Banff and Buchan, it does not mean that work to achieve outcomes stops. The success of this place-based approach as part of our Regeneration Strategy has led to a Place Policy being shaped that proposes to embed the approach taken, enabling services across the Council to be responsive to Place Based Approaches. This Policy will be submitted to Full Council for approval. There have been multiple plans in place over this period, not least of which are the Community Planning Plans and various Locality

- Planning exercises. This move towards a Place Policy is proposed to simplify the plan landscape, and enable closer working towards improving outcomes across the Council and across our partnerships.
- 3.2 The Place Policy is proposed to be guided by a data dashboard, which will enable services to analyse the priorities across Aberdeenshire and respond appropriately in a more systematic way to needs and opportunities. It will encourage services to work together also in a more effective way towards change. Whilst this move towards a Place Policy may take time to embed, there are many developments started under this programme which will continue to drive progress.
- 3.3 Appendices 1 and 2 give a summarised report of programme progress for Banff, Macduff, and Fraserburgh. Of these many measures, the actions below will continue to develop throughout this transition to a Place Policy:
 - The Fraserburgh Beach Masterplan is now complete, with the next stage of delivery discussions across services started via the Area Management Team. The Masterplan is expected to deliver benefits to the economic, social and physical fabric of Fraserburgh. It has been the subject of a Place and Wellbeing Assessment and therefore is a robustly developed series of interventions which will help deliver against future place outcomes.
 - Construction work is progressing for the re-development of the Pavilion at the Tarlair outdoor swimming complex in Macduff and is expected to be complete by autumn 2024. The project is supported by the Regeneration Capital Grant Fund, Place Based Investment Programme, Garfield & Pilgrims Trusts, Muirden Energy, and Macduff Vision and Action Plan. Friends of Tarlair are also planning for the next phase of development to restore the function of the pools. These developments will anchor a significant tourism and community facility in Macduff and will be a platform for economic and social development over the next decade.
 - Further to the success of the joint funding application between Aberdeenshire Council & Macduff Shipyards to upgrade one of the four cradles at Macduff Harbour to support increased demand for dual-hulled vessels, the project is now delivered. The total project cost £74,400 with most of the funding secured through Coastal Communities Funding, Macduff Shipyards contributing £14,900, and £9,500 being awarded from the Macduff Vision and Action Plan. Investment in harbour infrastructure is key to supporting the development of the maritime industry in Macduff to adapt to technological developments and the changing dynamics of ships.
 - The funding application to the UK Seafood Infrastructure Fund for £1M investment in Macduff Harbour Shore Power and Water connections to the South Harbour was unfortunately rejected. Officers in the Harbour Service, assisted where appropriate, will continue to make applications to the relevant funders for this project.

- The Better Futures Fund has now been launched in Banff & Macduff with the aim of encouraging additional town centre footfall and bringing empty properties back into use. Applications have been received and dependent on eligibility checks, the outcomes will create events, interest, and footfall to celebrate the towns during 2024.
- North East Scotland Climate Action Network (NESCAN) continues to engage with the communities of Banff and Macduff with a view to developing resilience, knowledge, skills, and expertise, empowering communities and assisting them in the design, development and delivery of climate focused projects. This work will be built into the new Place Plans.
- Continued delivery of the Place-Based Investment Programme (PBIP) across Aberdeenshire which has supported, in the Banff & Buchan area Bridge Street (Banff) and Kirk Brae (Fraserburgh) public realm improvements, the Stag & Thistle (John Trail) hotel, and new skate park projects in Fraserburgh, the Macduff Cross enhancement scheme, the Tarlair Pavilion, and the Portsoy Green Travel and Fitness Hub. Applications for the 2024 / 2025 year are currently being assessed.
- The RGU (Robert Gordon University) Sustainable Futures programme is now complete and a review underway.
- Work on progressive procurement will continue, following the successful outcomes delivered as per Appendix 1. An application for Local Authority Economic Recovery (LACER) funds has been made which will look to extend the success achieved to date and widen and deepen Local Wealth Building across the Council. This work will continue to drive local economic wealth and be focused via the Place Policy and data dashboard.
- The success of the Fraserburgh Enterprise Hub model in developing an entrepreneurship community has been extended too. The Enterprising Aberdeenshire project is now live, funded through Shared Prosperity Funding. This project will drive interest in new business start ups and in developing the entrepreneurship community throughout Banff and Buchan. A session on this is scheduled with elected members for the 23rd April.
- 3.4 Funds were agreed for regeneration aligned with the plans for each town. These funds are held in the Council's Regeneration & Priority Town Centre Reserve and the current position is noted below:

	Indicative	Committed £	Balance £
	Allocation £		
Fraserburgh	1,137,000	1,041,012	95,988
Macduff	901,000	457,692	443,308
Banff	710,000	534,418	175,582

3.5 Since the impact of Covid-19 and increased pressure on local authority funding models, there has been a positive effort to secure external funding for any pipeline projects. We have therefore brought significant external funding into

delivery through for example, Coastal Communities (seaweed project), LACER (local procurement and wealth building), Shared Prosperity (Enterprising Aberdeenshire) and Levelling Up (Macduff Marine Aquarium). This has saved having to commit all of the local authority funds available on new initiatives. The balance of funding from the reserve will be moved into a Place Strategy Reserve and will be available for projects aligned with the Place Strategy. It is anticipated that any future significant projects, for example on Macduff Harbour can be put forward for this funding on the basis of securing external match funding.

3.6 Each of the regeneration plans contain ambitious output and outcome indicators and targets to achieve over the lifetime of the plans. It is of credit to the partners involved in regeneration efforts – particularly in light of the disruption caused by the pandemic and more recent economic events - that most of the outcomes in each of the plans have been achieved or exceeded. Outcome summaries are contained within the town appendices. It should be noted that outcomes will continue to be developed by the key projects such as the Vinery, Vanilla Ink, Friends of Tarlair, and Macduff Marine Aquarium in addition to the ongoing work from economic projects such as Positive Procurement and partnership work with Banff Academy etc. as new plans develop.

4 Council Priorities, Implications and Risk

- 4.1 This report helps deliver the Strategic Priorities "Economic Growth" within the Pillar "Our Economy" and "Resilient Communities" within the Pillar "Our Environment".
- 4.2 This report helps deliver against the Aberdeenshire Council Regeneration Strategy, "From Strategy to Action: Developing Excellence in our North Coast Communities.
- 4.3 The table below shows whether risks and implications apply if the recommendations are agreed.

Subject	Yes	No	N/A
Financial		X	
Staffing		X	
Equalities and Fairer Duty		X	
Scotland			
Children and Young People's		X	
Rights and Wellbeing			
Climate Change and		X	
Sustainability			
Health and Wellbeing		X	
Town Centre First		X	

4.4 There are no staffing or financial implications as a result of this report.

- 4.5 The screening section as part of Stage One of the Integrated Impact Assessment process has not identified the requirement for any further detailed assessments to be undertaken as this report is for information and discussion only. However, an Impact Assessment was conducted as part of the previous update and is attached for reference (2023-05-23 IIA-001343 BBAC-Regeneration Update.pdf). The outcomes and outputs contained within appendices 1 and 2 demonstrate a commitment to the IIA principles.
- 4.6 The following Risks have been identified as relevant to this matter on a Corporate Level:
 - ACRP005 Partnership policy. This report summarises partnership input to regeneration and the need for this to continue.
 - ACORP006 Reputational Management. This report provides good evidence that the council and its partners are delivering against previously agreed plans.
 - ACORP007 Social Change. This report takes into account demographic changes in Aberdeenshire's most vulnerable towns and considers improvements and changes to the plans as a result.

Corporate Risk Register

The following Risk has been identified as relevant to this matter on a Strategic Level:

• ISR002 – Regeneration. The Report illustrates that progress is being achieved in the regeneration plans and that they are being appropriately monitored and managed.

Strategic Risk Register

5 Scheme of Governance

- 5.1 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report and their comments are incorporated within the report and are satisfied that the report complies with the Scheme of Governance and relevant legislation.
- 5.2 The Committee is able to consider and take a decision on this item in terms of Section B.1.9 of the <u>List of Committee Powers in Part 2A</u> of the Scheme of Governance as it relates to updates on the delivery of the Regeneration Strategy.

Alan Wood Director of Environment and Infrastructure Services

Report prepared by Christine Webster, Place Economy Manager 19.02.24

List of Appendices -

APPENDIX 1 – VISION AND ACTION PLAN FINAL PROGRAMME REPORT – BANFF & MACDUFF APPENDIX 2 – VISION AND ACTION PLAN UPDATE FINAL PROGRAMME REPORT– FRASERBURGH











Banff & Macduff Regeneration Vision & Action Plan
Final Report – Spring 2024



COUNCILLOR ALAN TURNER, CHAIR OF INFRASTRUCTURE SERVICES COMMITTEE

It is with gratitude to the many partners involved and to my fellow Elected Members over the course of this programme that we now present a final programme report on the Banff and Macduff Vision and Action Plans. The Regeneration Strategy sought to build on assets in our four northern towns, to facilitate the creation of greater opportunities, and our ability to grasp those. Of course, regeneration is not about any single action or single partner but about multiple actions and multiple partners over time building resilient social, economic and physical capital.

Property owners who have invested, with our support, in bringing back vacant buildings into use, economic partners like Robert Gordons University working with our library service to develop business ecosystems in our well loved libraries, our Ports in Macduff, Fraserburgh and Peterhead, planning and investing in critical infrastructure to support our maritime industries and diversify our maritime offering towards the offshore wind industry which we expect to see much more of over the next decade. Our town centre businesses who have worked tirelessly to maintain town centre offerings against appalling economic and social dynamics are testament to the strength of character of our towns and community spirit. That same community spirit has rallied over the period to develop valuable community assets like the Vinery in Banff, Victoria Park in Peterhead and multiple sports facilities in Fraserburgh. Repositioning our coastal towns to be at the confluence of our land and sea assets is long-term work. Our north coast communities still face health and economic inequalities. This leads us to develop a broader Place Based approach across Aberdeenshire, across all of our services, to build on the foundations created by this Programme and work diligently to ensure the opportunities afforded to us over the next decade are inclusive of all communities, that our economic focus develops local wealth, is inclusive and sustainable. I look forward to working with many more partners in these endeavours and to continue to strengthen the towns of Banff, Macduff, Fraserburgh and Peterhead through this approach.

COUNCILLOR DOREEN MAIR, CHAIR, BANFF AND BUCHAN AREA COMMITTEE

As the Regeneration Strategy draws to a close and new phases of work start to pick up pace, I am delighted to present this report to look back at the key achievements of the Banff and Macduff Vision and Action Plans. Two towns with distinct identities connected by their collective assets, the most important of which is our people, the Vision and Action Plans have supported a series of important short and long term initiatives to improve our environment. The plans have created the impetus for one of our most ambitious projects in Banff and Buchan; the development of Macduff Marine Aquarium as the jewel in the crown of our tourist and education infrastructure and the £4.8Million investment by the Levelling Up programme. As the physical investments in Tarlair, at the Aquarium and at the award winning Vinery in Banff mature, I am confident the programme has put in place the platforms to enable the health and vitality of the towns to continue to flourish.





Introduction

Aberdeenshire Council's Regeneration Strategy, "From Strategy to Action: Developing Excellence in our North Coast Communities" was agreed by the Infrastructure Services Committee on 17 March 2016. This strategy agreed to concentrate regeneration efforts in the four northern towns of Banff, Fraserburgh, Macduff and Peterhead. Infrastructure Services Committee also agreed the plan for each town and notional budget allocations for each from the Council's regeneration reserve.

The Macduff Regeneration Vision & Action Plan 2016-2021 received a notional budget allocation of £901,000 over the lifetime of the Plan.

The Banff Regeneration Vision & Action Plan 2016-2021 received a notional budget allocation of £710,000 over the lifetime of the Plan.

Locally, the delivery of the Plans have been overseen by the Banff & Macduff Development Partnerships, whose membership comprises the four Elected Members, Council Officers, and local partners representing business, community, and learning institutions in the town.

The Vision & Action Plan is an attempt to deliver a planned programme of interventions to improve many aspects of living and working in Banff and Macduff. The Plan includes several large scale and smaller projects and the sum of its parts have very much more impact than any of the individual projects in isolation. The Plan focuses on three core themes ('The Economy', 'The Environment' and 'People, Communities, Health and Wellbeing') with several objectives and activities underpinning each theme (see next page). In March 2020, with the onset of the Covid-19 pandemic, progress stalled as prioritisation was given to the pandemic response and recovery. The Council's reserve budgets, including the regeneration reserve, were frozen in April 2020 for around 15 months, although the budget was made available again to support priority projects. Having effectively lost around 18 months of delivery time, it was agreed that the Regeneration Plans remain live until such time as the Aberdeenshire Place Strategy was more advanced. In 2022 a review of the plan was undertaken to agree the priorities for the final 18 months of delivery. Whilst this is a final summary report on the Plan, some projects remain ongoing. At the time of writing the undernoted may be reported:

- Banff £534,638 (72%) of the original Plan budget had been committed to projects, most of which are now complete.
- For each £1 of funding committed from the regeneration reserve, around £6.41 of other funding or investment has been levered.
- Macduff £408,757 (45%) of the original Plan budget had been committed to projects, most of which are now complete.
- For each £1 of funding committed from the regeneration reserve, around £7.20 of other funding or investment has been levered.

These figures only reflect the projects that have been directly funded through the Plan. When adding in other private sector/Council activity investment in Banff and Macduff, it is estimated that the towns have benefited from significant additional investment over the past 5 years with a number of exciting developments underway across both areas. At the outset, the Plan also established a range of socio-economic Indicators and Targets that it hoped to deliver. At the time of writing this update, 13 of the 21 indicator targets had been met or exceeded (often by a significant margin) with the others close to being achieved. In particular, the tourism outcomes envisaged which are not yet met are expected to be met by the developments at Tarlair and Macduff Marine Aquarium. At the time of writing, the projects for Seaweed Cultivation and Local Innovation Fund continue to progress. Our ongoing partnership with Banff Academy aims to promote place-based learning and foster student engagement with their local communities. It is important to note that regeneration efforts do not always require a financial investment. The investment of time, planning, and a collaborative approach are critical components in helping to regenerate our communities.

Banff Vision 2021 - Banff is a connected, prosperous destination, where businesses are developed and its coastal location on the Moray Firth is maximised.

Cultural and heritage assets are enriched, to create an attractive townscape and so people are inspired to become the best they can be.

Delivered through 3 action themes

1. Diverse and forward facing economy;
Building a more diverse and resilient business base and higher wage economy.

2. Infrastructure and connectivity; Securing the regeneration and re-use of key sites and buildings and delivering the infrastructure capability to facilitate business and community success.

3. Health and well-being are fundamental to Banff's economic growth. Community momentum and cohesion will be improved with individuals confident to work together and inspired to celebrate their culture, their sense of place and make improvements to their career opportunities.

Macduff Vision 2021 - With genuine maritime past, present and future, Macduff is a thriving town where hard work is rewarded by excellent social and community opportunities. Where there is strong civic pride in a distinctive townscape and an ethical society focused on benefitting all. Where the young are supported to make tomorrow's history and where life is evolving with new ideas and business openings.

Delivered through 3 action themes

1. Place Development;

Develop a unique and authentic place product, building on the distinctive townscape and connectivity to an emerging network of attractions along the Moray Coast to create a real sense of interest and excitement about Macduff's place in Scotland.

2. Community Wellbeing and Quality of Life; Health and well-being are fundamental to Macduff's economic growth. Facilitating solutions to key challenges including tackling health inequalities and building the social capital of Macduff will help to make it the best residential settlement in Aberdeenshire.

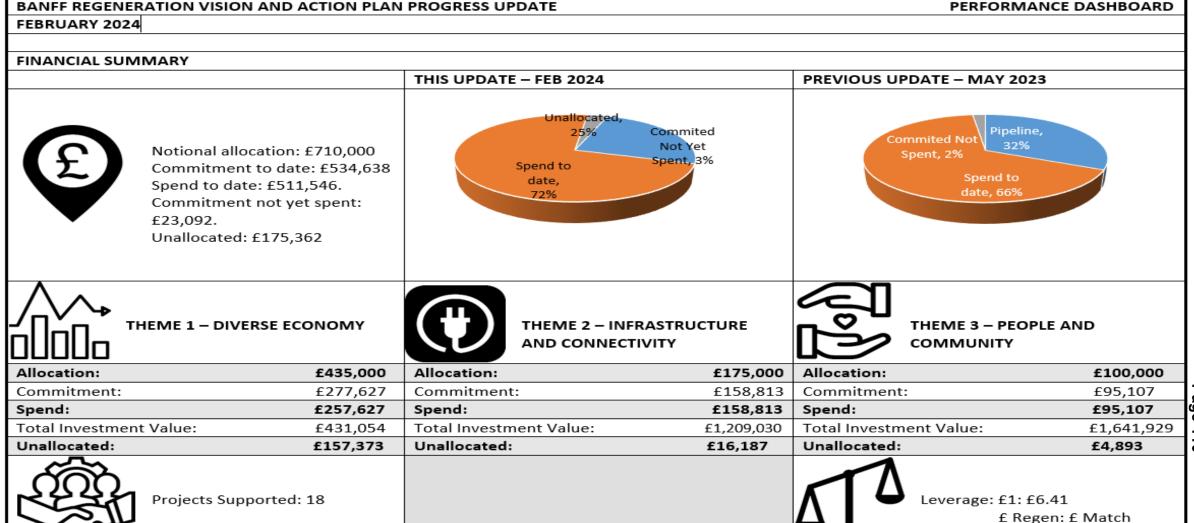
3. Diverse and forward facing economy
Boost economic resilience and build a higher wage
economy.

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Financial Summary Dashboard - Banff



cem / Σασε 11



Outputs Summary Dashboard - Banff



OUTPUTS AND OUTCOMES SUMMARY - CORE INDICATORS (FROM ACTION PLAN)

	Core Indicator	Target (2016-21	1) To date**	Balance to deliver
ΔΤΔ	Leverage (non-Regeneration 'match' funding secured)	£3,140,000	£3,282,103	£142,013
Shar.	Jobs Created or Sustained / Safeguarded	60	49.77	10.23
40	New Business Creations / Start-Ups	14	7	7
<u> </u>	Business Assisted	30	263	233
	Community Groups or Projects Assisted	15	28	13
35	Events supported	10	28	18
	Number new houses built	70	70	0
	Properties Assisted/Improved	12	21	9
	Public Realm Improvements	1	1	o
M	Number of Volunteers	50	42	8
JI II	Volunteer Hours	500	1,120	620

^{**} Figures based on either a) the number of Outputs contracted to funded projects, or b) the number reported as being actually delivered.



Financial Summary Dashboard - Macduff

FEB 2024					
FINANCIAL SUMMARY					
		THIS UPDATE - FEB 2024		PREVIOUS UPDATE - MAY 202	23
Commitm Spend to d Commitm £48,935. Unallocate	illocation: £901,000 ent to date: £457,692 date: £408,757. ent not yet spent: ed: £443,308	Spend to date, 45% Unallocated 49%		Spend to date, 39%	peline, 47%
THEME 1 – DEVELOPM		THEME 2 - COM BEING	MUNITY WELL-	THEME 3 - DIVE	KSE ECONOMY
Allocation:	£505,000	Allocation:	£93,000	Allocation:	£303,000
Commitment:	£224,606	Commitment:	£14,107	Commitment:	£220,433
Spend:	£162,475	Spend:	£4,106	Spend:	£241,531
Total Investment Value:	£2,408,050	Total Investment Value:	£14,851	Total Investment Value:	£522,075
Unallocated:	£280,394	Unallocated:	£78,893	Unallocated:	£61,469
Projects S	upported: 20			Leverage: £1: £	7.20 gen: £ Match



Outputs Summary Dashboard - Macduff

OUTPUTS AND OUTCOMES SUMMARY - CORE INDICATORS (FROM ACTION PLAN)

	Core Indicator	Target (2016-22)	To date**	Balance to deliver
\sim		54 000 000	62.505.404	5500.404
٥١٥	Leverage (non-Regeneration 'match' funding secured)	£1,988,000	£2,596,104	£608,104
Fig.	Jobs Created or Sustained / Safeguarded	80	189.5	109.5
B.	Pupils reached in education partnership projects	437	164	273
9	Business Assisted	12	147	135
②	Increase in visits to Macduff	4000	400	3,600
<u>a</u>	Properties Improved	12	15	3
3 %	Events supported	24	14	10
	In-Kind Contributions	£60,000	£58,957	1,043
:	Number of Volunteers	105	48	57
П П'	Volunteer Hours	1,000	4,372	3,372





The Vinery is one of the foundations of physical development generating significant ongoing social and community outcomes. In 2023, The Vinery was nominated for various awards and emerged victorious in several categories; The Royal Town Planning Institute (RTPI) Scotland Awards for Planning Excellence shortlisted The Vinery in the Best Project category during June of 2023. Later in October of the same year, The Vinery received recognition in the form of the Ian Shepherd Award, which they won, as well as the Conservation and Adaptation category, in which they also emerged victorious.

The judges of the Ian Shepherd Award from the Aberdeenshire Design Awards were impressed by the building's restoration. They commented that it was an exemplary instance of the re-use of an unconventional structure to provide a new role, rather than constructing a new purpose-built facility.

Furthermore, The Vinery was a finalist in the Heritage and Culture category of the RTPI UK Awards for Planning Excellence, held in November of 2023. The RTPI Awards for Planning Excellence is a platform that showcases and celebrates the best plans, people, and projects.

Winner: Aberdeenshire Architectural Awards 2023

Finalist: Royal Town Planning Institute Awards – Heritage & Culture









Business Support Progressive Procurement

By attempting to buy more from local suppliers, so that the effect of each pound is 'multiplied' by being spent and re-spent in wages and consumer spending. This is often combined with buying from more small- and mediumsized enterprises (SMEs). According to one study, 63 pence per pound, on average, is spent in the local area if local authorities buy from SMEs, while that figure is only 40 pence when spent with larger firms.

Aberdeenshire Council buys a large amount of goods and services, from construction materials to social care services. These goods and services can be used to benefit our local economy by supporting our Aberdeenshire business to tender for public sector contracts.

The project launched with three business breakfast events hosted across our Northern towns, Banff, Fraserburgh, & Peterhead complemented by drop-in sessions and one to one engagement, aimed at raising the profile of the project and its support offerings. As of January 2024, over 150 meetings have been held with businesses across Banff & Buchan and Buchan. Twenty one-to-one meetings with Banff business have been undertaken, mainly in the construction sector. Of the twenty, nine had never worked with the Council previously. For Macduff 6 businesses requested a one to one; mainly construction sector with one linked to digital media. Three of these businesses have never worked with the Council. Of the 26 businesses – 20 have been referred to the supplier development programme for additional training.

Other notable achievements at a strategic level: Community Wealth Building is now included as part of Aberdeenshire Council's Procurement strategy; A Meet the Buyer event is being held in Aberdeen City in 2024; an increase in the number of Public Contract Scotland registrations which has expanded the number of local suppliers to Aberdeenshire Council as well as upskilling the businesses to register and become tender ready. Over the next 12 months the project will focus on providing support for key capital projects, including Levelling Up and Peterhead Community Campus, while continuing to support minor framework agreements, and highlight these to Aberdeenshire businesses. The role will increase the training opportunities available to businesses across Aberdeenshire to implement and deliver a progressive procurement approach.

Just to let you know and say thank you for the help as we have just successfully won two contracts through Public Contracts Scotland.
Source Fraserburgh based business Joiner







RGU Sustainable Futures Programme

46 businesses

Sustainable Futures | Ryan's Story, Baxter Design, Mintlaw - YouTube

https://www.youtube.com/embed/ Rhb5508vP5A



RGU Sustainable Futures is a collaborative initiative between Robert Gordon University (RGU) and Aberdeenshire Council with a focus on supporting businesses through a 'Just Transition'. The project builds on the successful Libraries Innovation Network Aberdeenshire (LINA) project that ran from library hubs in the north of Aberdeenshire between October 2019 and December 2020. LINA supported over 140 people with their business ideas. The project primarily focussed on supporting businesses in our Northern towns but also had the ability to reach across the whole region of Aberdeenshire through online events. The areas of primary focus Banff, Macduff, Fraserburgh, Peterhead and Banchory, a location not previously covered by LINA. The programme launched December 2023 and finished December 2024.

The programme aimed to introduce a suite of entrepreneurship support programmes focused on a 'Just Transition' that:

- Raised awareness of the Just Transition and translated it to the local business community for practical application.
- Assisted start-ups, micro-businesses, and SMEs in creating an action plan for a 'triple bottom line' focusing on People, Planet, Profit.
- Created opportunities for collaboration and the sharing of best practices.
- Introduced entrepreneurs to ecosystem partners for upskilling, funding, and advice.

A total of 15 events were held; 7 were online and 9 in person. The workshop themes covered a variety of topics from Net Zero, Climate change and my business to exploring growth, People, Profit, Planet: Transforming Business for a Sustainable Future. These guides are available to any Aberdeenshire business. https://bit.ly/3ulu8Z1

In total 49 individuals from across Aberdeenshire engaged, from 46 businesses. These participants attended online, at in-person events and downloaded a copy of the sustainability guide. From Banff 7 businesses attended the workshops with 2 events being hosted in Banff one at the library and the second at the Vinery. Macduff hosted two events at the library with 2 business from Macduff attending. Other businesses from Aberdeen and Mintlaw attended the Macduff workshop. In terms of business attendees, it was notable that those based in the south tended to be more engaged in this subject: developing and implementing net zero plans.

The project gathered largely positive feedback from those attending the sessions. The surveys remain open until the end of February 2024 to capture feedback on the outcomes achieved, but at the time of writing, the feedback received so far confirmed 4 jobs had been sustained and 4 new processes have been implemented as a result of attending the training. Evaluation work is ongoing until the end of February. Two case studies were developed as part of the project: links are attached to the side header. The sustainability guide has also been produced allowing business to download for free as part of the programme to help business identify where they can start their journey to net zero.

Seaweed Cultivation Banff & Buchan Coast





The total value of the global seaweed market is projected to reach \$9.07 billion by 2024, at an annual growth rate of 12%. The UK aims to capture a share of this burgeoning industry. The economic potential of seaweed as a versatile resource extends across food, feed, biofuels, bio plastics, pharmaceuticals, and various industrial applications. The potential of these applications is already being realised by UK seaweed farming businesses. Kelp Crofting, based in the Scottish Highlands, cultivates kelp used in food products, livestock supplements and fertilizers. They report strong demand for their sustainably farmed seaweed, which has provided new jobs and revenue in their rural community.

In 2021, Aberdeenshire Council commissioned NLC Northern Light Consulting (NLC) to conduct a Coastal Industries Diversification Study. The study aimed to determine the commercial viability and feasibility of seaweed cultivation along the North Aberdeenshire Coast. The study concluded that seaweed cultivation presents a viable business opportunity along the coastline. To gain an understanding of the steps required to establish a commercial seaweed farm, in May 2022, a learning journey with stakeholders was organised to the Scottish Association Marine Science (SAMS) in Oban. Following the training it was agreed to progress with a trial as the next step.

To bring forward a small-scale scientific trial, officers consulted with SAMS and developed a phased approach to reduce risk and cost. Technical surveys were undertaken, and two sites were selected for siting mooring equipment. The survey work confirmed that both sites were suitable for this purpose. The project has now progressed to phase two, which involves designing the mooring equipment and consulting with the statutory bodies to gain consent for a scientific trial. The final phase will involve the manufacture and deployment of the mooring and monitoring equipment. A full cultivation cycle of seaweed will be conducted across a 10-month period to test product quality, yield, and growing conditions. The data collected will be instrumental in developing a business case for bringing forward commercial farming which could lead to the establishment of a new aquaculture industry along the Aberdeenshire coastline. The project has benefited from Coastal Communities funding with regeneration as match to deliver the first two phases. To deliver the final phase, £30,000 has been secured through the private sector towards the estimated £50,000 -£60,000 cost. In addition to the economic benefits, seaweed farming offers environmental benefits by acting as an underwater forest that absorbs carbon, nitrogen, and phosphorus, making it a valuable tool for fighting climate change and water purification. It also creates new habitat for a diverse range of marine life.

Local Innovation Fund – Two Towns Big Ideas



TWO TOWNS - BIG IDEAS £30,000 PARTICIPATORY BUDGETING FUND

Two Towns Big Ideas is a new initiative aiming to support the delivery of activities that will help to re-energise Banff and Macduff town centres. This will be through a grant scheme with communities and businesses invited to submit innovative proposals to increase footfall in both towns, either through the temporary re-use of empty properties as pop-up ventures or through town-based events using a participatory budgeting approach. To ensure a wide spectrum of views could be gathered to inform the process, it was decided to use a pop-up approach to the inperson element – taking the consultation to locations and events that already had footfall, rather than organising standalone events and asking people to come to us. This would capture both local community members as well as visitors to the area, along with different demographics.

The in-person engagement took place over several weeks in the summer and engaged with 273 people in person and 40 online. Through the Council's engage platform 676 comments were received. The engagement exercise provided a mixture of responses and the views captured were a good mixture of local community members and visitors to the area. It suggests that people are looking for experiences and activities that make them feel good – they want an attractive environment and a place to meet people and have fun. They also want the basics – affordable groceries and clothing that they can access easily. Coupled with this there is a desire to better meet the needs of visitors to the area by capitalising on the natural assets of the towns and it was felt that arts and proximity to the water/harbours were the obvious focus for this. There were new ideas suggested, with outdoor sports equipment hire or escape rooms for example, gaining support. There were even some people who had said they had thought about starting up their own business in the past but hadn't had the confidence to give it a go.

It is hoped that through this engagement and the participatory budgeting grant scheme that individuals or groups may have the tools they need to try out their ideas. All applications submitted will be provided feedback, and advice to help progress their project if the application is unsuccessful to the Two Towns fund. At the time of drafting the report, the fund had just closed with 8 applications submitted for Banff and no applications received for Macduff. Further updates will be provided as the project progresses.



A key part of regeneration is working in partnership with the next generation. Banff Academy worked in partnership with the regeneration team and partners to link the students with real life projects to help equip the next generation with the skills and resources to understand the current challenges and give them a voice for change. Working in partnership with Banff Academy as part of their powerful partnerships approach has resulted in the project-based learning curriculum for the academic year 2023-2024 focussing on four key themes: tourism, entrepreneurship, climate change, and social justice. These themes link into two of the three regeneration plan themes for Banff & Macduff. Providing students with relevant and practical experiences that will help prepare them for future success and foster a sense of civic responsibility encouraging them to identify the opportunities and how they can drive and support change in their community.

S1 pupils at Banff Academy have created a series of destination guides to encourage local people to explore the wonders of what's on our doorstep, whilst also being a valuable resource for anyone choosing to visit beautiful Banff, Scotland! Doorstep Explorers is a project that aims to inspire pride in our local community of Banff. Throughout the project, pupils focused on the driving question, "How can we, as community champions, encourage local people to explore Banff's culture, heritage and outdoors?"

The project began with a 'discovery walk' around Banff, exploring what is on our doorstep. Pupils then researched questions they had about what they saw and later went back out to key locations around Banff to act as tour guides. The project allows pupils to explore subjects such as: History, Geography, Literacy, Scots Language, Music, Art, Drama, Health and Wellbeing, and Outdoor Learning. To further develop their knowledge and skills, pupils have worked with local community and business partners such as The Smiddy, professional storyteller Jackie Ross, local artist Bryan Angus, local artist Stephanie Whitelaw from Aberdeenshire Council and Anna Gill from Aberdeenshire Walks. After learning about our local culture, heritage, and outdoors, our S1s created these interactive location guides! Each team targeted a particular audience and adapted their route to suit their audience's needs. You can follow the journey of the project, see the behind the scenes creation of our Doorstep Explorers website and view some beautiful pieces of work by clicking on the link https://bit.ly/3uRbZbJ.



The Banff & Macduff Storyboard – key projects and achievements



Place Development Destination Macduff

Friends of Tarlair



The Art Deco Lido situated within Tarlair has been the subject of substantial attention over the past 12 years, with the Friends of Tarlair undertaking significant efforts to ensure its preservation and regeneration. Save Tarlair Group was formed in 2012 after a public consultation meeting. There was strong support from the community to see this heritage asset saved for the good of the people. In 2013 Aberdeenshire Council brought in a respected Conservation and Design engineer who laid out a 3-phase conservation plan to restore the site. Friends of Tarlair secured a 99-year lease in 2020 and continue to work hard to secure the necessary funds to restore the site. The technical and design work has been supported using regeneration funds to help the group achieve their ambitious plan. In 2021, the Friends of Tarlair secured £1.45m from the Scottish Government Regeneration Capital Grant Fund. This funding has helped to leverage an additional £750k to meet the £2.2m required to bring the pavilion back into use. Construction commenced during the summer of 2023, with an envisaged completion date of Autumn 2024. Friends of Tarlair have worked hard during the pandemic to secure additional funding to ensure the project is delivered due to inflationary costs.

The pavilion block, when complete, will house a café and community space, capable of accommodating a range of activities, including musical evenings, heritage talks, small celebrations, and film nights. The workshop will offer opportunities to engage in creative activities and offer an alternative educational offering. This project demonstrates how communities can drive development and enterprise for the benefit of the town, area, and community. The proposed café/restaurant, heritage centre and creative workshop space have a wide range of appeal from a local and tourist perspective and will act as a driver for tourism, a key outcome of the Macduff Vision and Action Plan. The subsequent phases of development will unlock the use of the pools which are expected to become a major attraction for regional visitors and national tourists. The final phases hold the potential to yield profound and lasting benefits to health and well-being in the longer term through the utilisation of the pools for swimming and sea kayaking.





Place Development Macduff Aquarium

In 2016, the Macduff Regeneration Action Plan provided funding to support an options appraisal aimed at exploring the feasibility of future development proposals for the aquarium. This appraisal laid the groundwork for a strong Levelling Up application that received funding support from the UK Government following a competitive bid process. The "Cultural Tides: North Sea Connections in Aberdeenshire" project aims to renovate and expand the Macduff Marine Aquarium building while improving the quality of its commercial offerings. This project will uplift the visitor economy, which has long been a part of Macduff's regeneration strategy to create a unique and authentic place product and will build on the attractions across the Moray and Aberdeenshire coastline.

This development will add to an increasing number of reasons to visit the Banffshire coast. Friends of Tarlair, Macduff Aquarium, heritage trail and attractions such as the Silver Smith, Duff House, Banff Castle, Duff House Golf Course, Banff beach and numerous walking routes, and great hospitality on offer: there are numerous reasons to visit Banff & Macduff.







Item 7



Diverse Economy Banff - Silversmithing



September 2018 saw the opening and launch of the Centre for Excellence in Silversmithing and Jewellery. This exciting development is run by Vanilla Ink. The Silver Smith establishment has brought back the silversmithing heritage to the Aberdeenshire region, and has been well received by individuals, communities and business. Providing exciting new employment and training opportunities to the area. Helping to diversify the business base as well as contributing to increased employability skills. Vanilla Ink run business development; INKubator programmes supporting professional makers to develop their business plans. Entrepreneurs are supported with workshop space, training, and advice. In 2021, the Smiddy invested in a retail outlet to allow the sale and merchandising of their and other silversmiths' products.

Vanilla Ink is passionate about the coastal town of Banff and its important history of quality Provincial Silversmithing in Scotland. As part of their creative programme, the Smiddy hosts residency programmes to attract postgraduates to pass on their knowledge and skills and highlight the Banff area as a silversmithing location. This has attracted tourism to the area with positive feedback on the facilities and the team. Many visitors have attended the workshops, which provides additional opportunities for businesses to work collaboratively and encourage visitors to the town and surrounding area. The development of the Silversmith adds to and further strengthens the creative sector in Banff with a new and specialist strand. The establishment of the silver smith quarters provides visitors and artists in residence with town centre accommodation a few minutes' walk from the Smiddy.





"I had such a lovely afternoon making my ring. Millie who led the session was patient, helpful & was an excellent teacher. I highly recommend Vanilla Ink- The Smiddy, if you're able to sign up for a workshop, you'd won't be disappointed, if you are the area pop in & meet the team you'll get a very warm welcome." Di B Newcastle"

Infrastructure & Connectivity Banff



Securing the regeneration and reuse of key sites and buildings to facilitate business and community success was a key theme in the Banff action plan.

The buildings at 49-54 Bridge Street are Category B listed and had been in a derelict state for a number of years. In 2016 it was agreed to support an economic appraisal to confirm the development costs to bring the buildings back into use. This was funded through the Banff Regeneration action Plan and supported by North East Scotland Preservation Trust (NESPT).

Using the information from the economic appraisal on 21st January 2019, the North East Scotland Preservation Trust (NESPT) secured funding from Historic Environment Scotland and Aberdeenshire Council to begin work on restoring the buildings to bring them back into use as accommodation for tourists on learning breaks at the newly opened Centre for Excellence in Silversmithing and Jewellery in Banff. The building has undergone extensive refurbishment to a high standard and has been split into three small townhouses. The new townhouses are conveniently located just two minutes away from the Centre, and the project is a collaborative effort between NESPT and Vanilla Ink, the operators of the Silver Smith Centre. Vanilla Ink manages the letting of the accommodation as an additional part of their business, and the houses are furnished and equipped to a high standard, providing comfortable accommodation to student silversmiths, visitors to Banff, and others attending courses at the Scottish Centre for Excellence in Silversmithing. The redevelopment of the building has had a positive impact on the street aesthetics and builds on the public realm investment in Bridge Street as well as bringing additional footfall to the area. The accommodation is available for booking through various online platforms such as Air BNB and Vanilla Ink's website and provides visitor accommodation in the heart of the town centre.







Banff Conservation Scheme and Lower Banff Development

Absolutely loved it... Would definitely do it again next year and I think others would to.
Great to see some more community stuff happening"
Community Feedback



Half a million pounds was approved by Historic Environmental Scotland to deliver a conservation-led regeneration scheme on Bridge Street with the aim to regenerate the Bridge Street and Low Street areas of the town centre. The main focus of the scheme was the repair of, and in some instances the reuse of, key buildings in these locations which were in a poor state of repair and having a detrimental impact on the Conservation Area. The vision of this scheme was to rejuvinate the town centre making Banff a more attractive destination. The scheme was delivered between 2014-2019 and invested a total of £1,767,257 In Banff.

On completion of the scheme a consultation with the residents of Bridge Street sought views on street lighting, parking and road surface and invited suggestions for improvements and changes to the public realm. The regeneration plan for Banff provided the financial support to create a detailed design based on feedback from residents. The Improvement Scheme aimed to link up strategic projects and key areas of the town. With an overarching vision to make it an attractive environment for small shops and businesses as well as re-instating the key link between Old Marketplace and the Town Centre. This was achieved by placing an emphasis on pedestrian movement rather than functioning purely as an area to park or as a through-route for vehicles. The improved street scape will act as a catalyst to encourage further investment and provides opportunities to host events, festivals, and cultural activities in the future. The event to celebrate the opening of Bridge Street and the Vinery on the 27th of August 2022 was well supported with between 700- 800 people attending. Bridge Street was closed to traffic with pedestrian access only to allow street trading and entertainment.







Place Development – Destination Grow @ Vinery



Airlie Gardens is prominently situated within the town of Banff and is a gateway site to the town centre and is within the Banff Conservation Area. The garden area has been maintained and is open to the public, however the Vinery became derelict approximately 20 years ago, on the Buildings at Risk Register for Scotland for several years and had fallen victim to break ins and vandalism. The GrowBanff@TheVinery project was developed in response to the decline in the physical appearance of the Vinery coupled with the identified social regeneration needs of the town and community engagement. Through funding received from the Scottish Government and Aberdeenshire Council, a full restoration of the Vinery, including the bothy and turret were carried out between 2021 and 2022, to provide a site which would improve health and wellbeing, increase skills and reduce social isolation. An open call identified an operator who could deliver the above aims. Aberdeen Foyer, a charity based in the Northeast of Scotland, provide opportunities for young people and adults affected by poor mental health, low skills, or unemployment. By helping those most isolated in our communities, the buildings have become a hive of community activity. This is highlighted by statistics provided by the Foyer, who after eight months reported they had created 11 jobs of which eight people were long-term unemployed, including a volunteer co-ordinator, chef, and gardener, Supported 78 people through skills programmes, 57 volunteers taking part in activities such as gardening and cooking, logging 1700 hours. Over 500 people participating in wellbeing events as well as facilitated opportunities for advice and sign posting on topics including accessing food, money advice and energy efficiency. 15 community groups are now regularly using the space.

The difference that these interventions is making to the Banff community is real. The Foyer report hearing from people, how attending the Vinery has helped them, saying they feel more positive and with a sense of purpose





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Macduff Harbour Master Plan



Macduff Harbour was identified as a key asset for the town's development. Fisher Associates created a Master plan in 2015, which identified a number of improvements to enhance the facilities for harbour users and boost the harbour's economic outlook. The upgrades included cosmetic improvements such as painting the lighthouse and other fixtures and making the harbour more accessible with a new road layout and additional parking. Fish landing regulations were relaxed, and to support the fishing sector, a chill room, an ice plant and a forklift were installed. The old wooden slipway was replaced with a full concrete rampway to improve the long-term viability of the West basin. A number of other innovations to modernise harbour operations and improve the service provided to harbour users; such as the feasibility of electricity supply on the North Pier are now being completed; an improved road layout at Bankhead/Laing Street Junction and improved water supply on the Slipway.

Significant investment is required to deliver North Pier Electrics; the regeneration plan provided financial support to create the detailed designs and technical appraisals which will enable the Harbour service to seek external funding to deliver the capital project. Discussions are ongoing with potential funders to identify a financial package. The regeneration plan emphasises the importance of partnership and collaboration. In 2023, Cradle 4 underwent an upgrade to increase the width capacity of the cradle to allow the servicing of larger twin-hulled boats. Adding an additional service to the slipway benefiting the local supply chain. This upgrade was a collaborative project between Aberdeenshire Council and Macduff Shipyards which will increase capacity at the harbour enabling them to service larger twin hulled vessels which previously had to be serviced elsewhere, improving the sustainability of operations as well as bringing additional business opportunities to the surrounding supply chain. A comprehensive prospectus has been developed for Macduff to showcase its products and services. The prospectus highlights the wide range of harbour services, local supply chain, land availability, shipbuilding facilities, and planned investment activities in the region. It also emphasizes the exceptional quality of life in the area, making it an ideal choice for anyone considering relocation. At present, the prospectus is pending final confirmation of investment figures before it can be circulated to partners and the team continue to seek external funding to support the development of Macduff. The prospectus is a valuable resource for anyone interested in the area's business opportunities and potential for growth. It provides a detailed overview of the region's strengths and advantages, making it an essential tool for investors, entrepreneurs, and other stakeholders. We look forward to sharing the prospectus with our development partners and stakeholders, and we are confident that it will help to showcase Macduff's potential as a leading business destination in the region.







Macduff Small Grant Scheme

The Macduff Small Grants Scheme, a grant to make visual improvements to targeted properties on Shore Street and Duff Street has been a great success.

The Scheme improved the town for residents and visitors as part of ongoing efforts to rejuvenate the town and improve the quality of the built environment. The scheme focussed on improving the visual appeal of Macduff, especially on Shore Street and Duff Street to the community of Macduff and Banff, to passers-by and visitors and to stimulate a sense of community purpose and importantly to encourage other property owners to consider making improvements to the fabric and appearance of their properties. Property Owners were contacted directly, and leaflets were distributed to owners and occupiers of all other properties on the target streets inviting them to make applications for funding to assist with external works. The response from local business and residents to the Macduff Property Grant Scheme has been very positive and supportive.



18 Properties targeted formal letter



19 applications received



14 Grants approved



12 projects completed



£80,482 drawn down against the scheme. Total project cost £116,462





20-21 Shore Street, Macduff



















34 Shore Street, Macduff

37 Shore Street, Macduff

13-15 Skene Street, Macduff

Banff & Macduff Heritage Trail and C-A-V-A



The Banff and Macduff Heritage Trails have collected local knowledge and expertise to create a rich bank of information about the area. This information is shared through interpretation boards around the two towns, a website, and a walking app. The trail aims to promote physical activity, educate students about their culture and history, and help tourists navigate the settlements and learn more about them. The design and content of the trail were developed with the support of a steering group consisting of local people and organisations. In addition to the interpretation panels, the website provides further details and stories about the towns and their history, as well as downloadable audio guides to help people learn more about their heritage. The heritage trails are an attraction that adds to the area's offerings in terms of things to see and do. The trail was officially launched in the spring of 2019 and is promoted by VisitAberdeenshire, VisitScotland and Out and About Scotland.

The Craft Arts Vintage and Antique (CAVA) Collaboration

Collaboration is an essential element of regeneration, and the Enterprise Challenge Fund was designed to help businesses work together on innovative products and services. The Craft Arts Vintage and Antique (CAVA) collective is a prime example of the power of collaboration, having produced a leaflet that is both simple and effective in showcasing their offerings. The brochure not only enhances communication and cooperation between these businesses but also attracts new visitors to the area.











Macduff gateway Signage refreshed to a more modern font



Note: this summary includes only those projects that have received direct financial support through the current or previous Regeneration Action Plans. Arranged broadly in chronological order with the most recent projects at the top.

Project Name	Date	Budget	Project Aims	Outcomes
		REGENE	RATION ACTION PLAN, 2014-2021	
Joint Projects Banff &	Macduff			
Seaweed Cultivation North Aberdeenshire Coast (in progress)	2023/4	Total project: £19,338 Regeneration Funds: £1,933 Coastal Communities Fund: £17,405	Design experimental mooring system and consult with statutory bodies on site suitability and enable the next phase of development.	 No. of New or enhanced network (1) Leverage £30,000 Private Sector Leverage Coastal Communities £52,405 Number of potential enterprises supported to be enterprise ready (4)
	2022	Total project: £28,162 Regeneration Funds: £3,162	Phase One: Pre-Mooring Surveys to produce precise depth profiles of both sites and characterise the seabed types across the potential farm areas. Produce a summary existing baseline conditions in the marine environment around the site in question.	 No sectors supported/developed (2) No business participants in new networks or initiatives (6) No catalyst or feasibility studies assisted project development (3)
	2021	Total Project Cost: £3,831 Regeneration Funding: £3,831	Ten participants from Aberdeenshire to attend learning journey to Oban. The aim of the trip is to further the knowledge of seaweed cultivation amongst potential interested parties in North Aberdeenshire.	
	2020	Total Project Cost: £10,000 Coastal Communities Funding	Feasibility Study Undertaken by Northern Light Consulting (Seaweed Cultivation Aberdeenshire) Funded Coastal Communities £10,000	

Project Name	Date	Budget	Project Aims	Outcomes
Local Innovation Fund – Two Towns (in progress)	2024	Total Project £30,000 Regeneration Funding: £30,000 Private Sector:	Through the process of participatory budgeting the project aims to address declining footfall and reignite activity in the town centres of Banff and Macduff through the inspirational use of vacant properties and encourage events in the town to help drive footfall and promote the Banff & Macduff area.	 No. of New jobs created 2. No. of Businesses Supported – financial (i.e. receiving grants) 3. No. of Businesses Supported - other 4. No. of Enterprises sign-posted to other support (3) New or enhanced retail units supported (3) No. of New products, processes or services enabled or supported (3) No. of Sectors supported / developed (1) No. of New Enterprises started (3) No. of community projects / initiatives supported (1) No. of Community Events held (2) No. of local Consultations held (1) Number of Participants (300) No. of events Visitor Economy (1)
Banff & Macduff Business Breakfast	2022	Total Project: £80 Regeneration Funds: £80	To provide information to businesses on the support available to manage costs due to rising energy costs and sales being impacted due to the cost-of-living crisis. Event with guest speakers from Business Energy Scotland, Robert Gordon University Sustainable Futures programme, Business Gateway, and Aberdeen Foyer "Grow at The Vinery project" to highlight how they can support and work with business in the area.	 No. of Enterprises sign-posted to other support (4) 12 attendees Good to have event in the town to save travelling into Aberdeen or Peterhead

Project Name	Date	Budget	Project Aims	Outcomes
Banff & Macduff Promotional Film	2018	Total project: £6,020 Regeneration Funds: £6,020	Marketing of the Banff & Macduff area and an opportunity to highlight the recent investment in both towns.	 No. of New products enabled (1) No. of (additional) Visitors (200) Raised the profile of the area with over 4,000 views.
Banff and Macduff Heritage Trail Phase 2 Banff and Macduff Heritage Trail Phase 1	2018	Total Project: £47,000 Regeneration Funds: £29,455 Other Funding: £17,545 Total Project: £3,604 Regeneration Funds: £3,604	Promote the 2 towns history and unique heritage. Highlight interconnectivity both towns to their harbours. Improve walking and cycling routes to improve navigation for Increase visitor numbers and spend. Support education for the schools and academy.	 No. of Marketing or Promotional campaigns (10) No. of New or enhanced Visitor activities supported (1) No. of New or enhanced Tourist facilities supported (1) No. of (additional) Visitors (200 per annum) Number of young people engaged (50 Improved access No. of New or enhanced Visitor activities supported (1) No. of Participants supported with Training (50)
Commercial Property Monthly	2017	Total project: £1,284 Regeneration Funds: £1,284	Raise the profile of Banff marina and Macduff Shore front to a wider audience local and regional property developer. Promotion of the Aberdeenshire Property Investment Fund which covers Banff & Macduff.	Circulation reaches Audience of 800,000 Item 7 Page 133
Digital Expo Banff & Macduff	2017	Total Project: £6,704 Regeneration Fund: £6,704	Raise awareness digital skills and future opportunities in this sector.	Sector Supported (1)

Project Name	Date	Budget	Project Aims	Outcomes
Banff & Macduff Retail Plus	2014	Total Project: £56,650 Regeneration Funding: £20,748 Private Sector: £35,902	Upskill retailers with knowledge and expertise to help sustain their business, raise profile, and improve reputation. Identify key opportunities / areas for improvement within each business. Improve the look of Banff/Macduff town centre as a retail destination.	 Total Council Investment for enhancement grant element of project: £20,748 Total Private Investment: £35,902 11 shops took part in Banff and received expert consultation advice with 8 shops successfully applying for an enhancement grant. 8 shops took part in Macduff and received expert consultation advice with 4 shops successfully applying for an enhancement grant. Funding of up to £2,000 with intervention rate of 50%. Businesses reported safeguarding of jobs. Commended by independent evaluation in 2016.
Banff Banff Craft Art Vintage and Antiques Trail	2020	Total Project: £1,681 Regeneration Fund: £700.33 Private Sector Funding: £980.82 Total Project: £2,853 Regeneration Fund: £1,136 Private Sector Funding: £1,717	CAVA supported for its third year Leaflet took on a new design and a wider distribution network. Distribution of promotional leaflets on hold due to COVID-19. Support the costs of bringing onboard writer Jan Leatham to further promote and advertise CAVA in national publications.	 No. of Businesses Supported – financial (1) No. of Businesses Assisted (8) No. of New or enhanced networks developed (1) No. of Business participants in new networks or initiatives (5) Leverage / Match Funding - Private £2,697.82
	2017	Total Project: £1,584 Regeneration Funds: £1,584.37	Develop initial leaflet. Eight businesses working collaboratively to encourage people to explore the Craft Art Vintage and Antiques.	4

The Vinery, Banff	2019	Total Project: £932,899 Regeneration Fund: £95,000 RCGF Funding: £732,768 SG Town Centre: £200,131	Refurbish and bring back into use the Vinery and associated buildings in Airlie Gardens, Banff as a Centre for Community Horticulture, and ancillary uses.	 No. of New Jobs Created (11) No. of Businesses Supported – Other (53) No. of New Enterprises started (1) No. of New services enabled (1) No. of New or Enhanced Community Facilities supported (3) No. of Community Events held (2) No. of Participants (472) No. of Volunteers engaged (30) No. of historically significant buildings improved (1) New or improved floorspace (270sq. m) No. of projects providing improved access to local green space or other natural amenity (1) Carbon Reduction (1) No. of Construction Jobs (11.2 FTE)
49-53 Bridge Street, Banff Silver Smiths Quarters	2019	Total Project: £595,370 Regeneration Fund: £125,250 Historic Environment Funding: £470,120	Previously vacant properties. 3 Town houses brought back into productive use offering modern. Visitors' accommodation in the heart of the town centre. Provides a base for Artists in Residence Silver Smith	 No. of Community Groups supported – financial (1) No. of houses bought back into use (3) No. of (additional) Visitors (125) No. of Training Events held (3) No. of Participants supported with Training (20) No. of Construction Jobs (7.17)
Banff Tourism Signage Rotary Club	2019	Total Project: £1,990 Regeneration Fund: £995.31	Improved signage	 No. of Community Projects / Initiatives supported (1) No. of Community Groups supported – financial (1) No. of local Consultations held (3) No. of Participants (10) No. of New or enhanced Tourist facilities supported (1)

Project Aims

Outcomes

Project Name

Date

Budget

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Project Name	Date	Budget	Project Aims	Outcomes
				Leverage £994.69
The Smiddy - Silversmith	2018	Total Project: £130,374 Regeneration Funds: £42,750 Leader Funding: £74,624 Other Funding: £13,000	Provide a centre of excellence for silver smithing in Banff.	 Historically important building brought back into use (1) No. of New Jobs Created (4) No. of potential entrepreneurs supported to be enterprise-ready (21) No. of Community Projects / Initiatives supported (3) No. of Community Events held (2)
	2018	Total Project: £7,000 Regeneration Funds: £7,000	To assist with the Strategic planning	 No. of local Consultations held (2) No. of Participants (total) (500) No. of New or enhanced Visitor activities supported (1) No. of Events (3) No. of Training Places created (7) No. of Participants supported with Training (7)
TURF Fits New Event Banff & Macduff	2018	Total Project: £404 Regeneration Fund: £107 TURF Funds: £297	Develop a third event to share work around regeneration.	 No. of Community Projects / Initiatives supported (1) No. of Community Groups supported – financial (1) No. of Community Groups supported – Other (1) No. of Community Events held (1) No. of Participants (82)
Banff Marina Slipway Extension & Boat Hoist	2018	Total Project: £275,000 Regeneration Funding: £137,931 NESFLAG Funding: 137,500	Improved slipway capacity and accessibility.	Historically significant building improved (1) No. of New products, processes or services enabled or supported (1) Construction Jobs (2.4 FTE)
Bridge Street Public Realm Design	2017	Total Project: £30,426 Regeneration Fund: £30,426	Produce detailed designs for the improvements to Bridge Street. The design work will contribute towards making Bridge Street a more desirable street for investment and improve public perception and civic pride.	No. of local Consultations held (2) Secured £709,030 SG Town Centre Funds for delivery.

Project Name	Date	Budget	Project Aims	Outcomes
Marina 10 Year Celebration	2017	Total Project: £4,835.16 Regeneration Fund: £4,835.16	Celebration at Banff Marina commemorating the 10-year anniversary. To promote the Marina as an event space and destination to residents and tourists	 No. of businesses Assisted (5) No of Community groups supported – Other (1) No of groups benefiting from supported facilities (5) No Events (1) No of (additional) visitors (300)
Bridge Street & Low Street 49-53 & 18-20 Low Street	2016	Total Project: £15,000 Regeneration Funds: £15,000	Prepare first steps redevelopment to bring the properties back into productive use.	 Completion economic appraisal for 49-53 Bridge Street and 18-20 Low Street.
The Silver Smith BPHS	2016	Total Project: £8,350 Regeneration: £1,500 Creative Scotland: £6,850	Set up Creative Banff Forum Deliver programme of activities to engage with the Banff coast communities.	 Number of events planned and executed. Visitor Numbers Number of graduates attending Silver Smith Recording the job and volunteer opportunities No. of Community Projects / Initiatives supported (1)
Banff Property Investment Fund	2016	Total Project: £28,904 Property Investment Fund: £7,164 Private Sector Funding: £21,740	Bring vacant/derelict property back into economic use.	 No. of Businesses Supported - financial (1) No. of New Enterprises started (1) No. of New or Improved Buildings (1)
New Banff Writing Festival	2015	Total Project: £3,200 Regeneration Funds: £1,500	Festival to promote new creative writing in Banff & North East to celebrate the regions writers past and present.	No. of (additional) Visitors (200)
Trinity & Alvah Church	2014	Total Project: £10,650 Regeneration Fund: £5,325 Other Fund: £5,325	Invest in community facilities to make the church more accessible to support the much relied upon services to the community.	Properties Improved - Secure the regeneration of high-profile buildings (1)
Macduff				
Macduff Harbour – Cradle Upgrade No 4	2023	Total Project: £74,400 Regeneration Fund: £9,500 Private Sector Funding: £14,900 Coastal Communities Funding: £50,000	Upgrade cradle four to accommodate modern designed twin-hulled vessels to enable more of their type to be serviced in Macduff.	 No. of Businesses Supported - financial (2) No Sector supported (2) No new services enabled (1) Green Storm first boat to be serviced w/c 15th January 2023.

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Project Name	Date	Budget	Project Aims	Outcomes
Friends of Tarlair	2021	Total Project: £70,978 Regeneration Fund: £70,978 Total Project: £35,338 Regeneration Fund: £35,338	To support the design and construction plan costs to redevelop a derelict Art Deco Lido building and bring it back into use as a community facility (café and art and heritage workshop) run by Friends of Tarlair (FOT). The funding package of around £1.8 million has included additional match funding support from Garfield Weston, Pilgrims Trust and many others which has powered the project forward to the next critical stage.	 No. of Community Projects / Initiatives supported (1) No. of Community Groups supported – financial (1) No. of historically significant buildings improved (1) New or improved floorspace (380sqm) Job Creation (3) No. of Volunteer Hours (3,600 per annum x 2) No. of Construction Jobs (26.5) Wellbeing outputs from wider utilisation of the area Longer term, deeper wellbeing and health outcomes can be achieved through utilisation of the pools for swimming and sea kayaking. Leverage Place Based Initiative Funding 22/23 £367,209 Scottish Gov RCGF £1,458,000 Other Funders £374,791 Total Project Cost is £2.2m
Macduff Landing Table	2019	Total Project: £6,000 Regeneration Funding: £6,000	Encourage fish landing in Macduff.	New services enabled (1) Businesses Supported (40)
North Pier Electrics Technical Appraisal	2019	Total Project: £27,275 Regeneration Funding: £27,275	Produce the detailed design and mechanical and electrical requirements to deliver power to the North Pier.	 No. of Businesses Supported - financial (1) Completed Feasibility Studies assisted project development (1)

Project Name	Date	Budget	Project Aims	Outcomes
Home Bakery (Macduff)	2018	Total Project: £26,000 Regeneration Fund: £10,000 Private Sector Funding: £16,000	Bring an empty property back into use, improving the visual amenity and vibrancy of Duff Street.	 No. of New Jobs Created (8) Business Supported (1) No. of New Enterprises started (1) No. of New or enhanced networks developed (1) No. of New or Improved Buildings (1) New Retail units supported (1) No. of houses bought back into use (1)
Macduff Ice Plant	2018	Total Project: £375,200 Regeneration Fund: £159,556 EMFF Funding: £215,634	Encourage Fish Landing in Macduff.	 Offers a new service harbour user. No Existing jobs safeguarded 150. No. of Businesses Supported - financial (1) No. of Sectors supported (1) No. of New or Improved Buildings (1)
Macduff Small Grants Property Scheme	2017	Total Project: £121,331 Regeneration Funding: £81,967 Private Sector Investment: £39,364	Support 12 property grants which facilitate the improvement of the visual amenity of Macduff. Improve public perception of Macduff as a place to live and spend time in. Contribute towards the longer term aim to improve pride of place in Macduff.	 No. of Businesses Supported - financial (i.e. receiving grants) (5) No. of Improved Buildings (12)
Macduff Harbour – Ice Plant Technical appraisal	2017	Total Project: £14,200 Regeneration Fund: £14,200	Technical investigation to consider the infrastructure requirements for the Ice plant and prepare application for European Funding	 No. of Businesses Supported - financial (1) New service supported (1) No. of catalyst/Feasibility Studies Assisted Project Development (1)
Macduff Gateway Signage	2017	Total Project: £300 Regeneration: £300	Improved Signage	3 signs updated (confirm locations

Project Name	Date	Budget	Project Aims	Outcomes
Macduff Revival	2017	Total Project: £16,300 Regeneration: £4,000 Banff & Buchan Area Initiative: £4,300 Capacity Fund – Connecting Cultures £4,000 Field Share & Macduff Revival: £2,000 Other: £2,000	To use contemporary art to raise the profile of Macduff by revealing and re-interpreting its history and Aberdeenshire's culture	 No. of New or enhanced networks developed (1) No. of Community Projects / Initiatives supported (1) No. of Community Groups supported – financial (1) No. of Community Events held (4) No. of Participants (600) No. of young people engaged (39) No. of Volunteers engaged (15) No. of Volunteer Hours (772)
Macduff Harbour Expansion & Deepening Business Case	2016 - 2015	Total Project: £25,000 Regeneration Fund: £25,000	Preparation of the business and Masterplan for the respective towns as part of the evaluation of the Banff/Macduff Town Centre Team Project. The objective is to obtain a document that provides a guide to the future regeneration of the Harbour areas of the towns and the community around them.	No. of Catalyst / Feasibility Studies assisted (project development) (1)
Macduff Aquarium	2016	Total Project: £9,902 Regeneration Funding: £9,902	Options appraisal to investigate the feasibility of development proposals. The study helped to inform the recently secured Levelling up Funding from the UK Govt £5.7m. The LUF will support significant modernisation of the existing aquarium to improve the visitor experience and include expanded exhibits and enhanced facilities	 No. of Businesses Supported - financial (1) No. of Catalyst / Feasibility Studies assisted (project development) (1)
Highland Haven Artwork Macduff	2015	Total Project: £1,600 Regeneration Fund: £1,600	To improve the visual appearance of a derelict site on a prominent position on the main road through the town.	 Improved visual appearance of a derelict site on a prominent position on the main road through the town. The images help to display/promote some of the attractions in the Macduff area.
Macduff Seafront Restaurant/Takeaway	2014	Total Project: £90,600 Regeneration Fund: £22,650 AEFF Funding: £22,650 Private Sector Funding: £45,300	Support job creation and redevelopment redundant building Shore Street.	of the attractions in in the Macduff area. No. of New Jobs Created (2) No. of Businesses Supported – financial (i.ep receiving grants) 1. Improved Property - New retail units supported (1) No. of New services supported (1) No. of Sectors supported / developed (1) No. of New Enterprises started (1)



Fraserburgh Regeneration Vision & Action Plan

Final Report – Spring 2024





COUNCILLOR ALAN TURNER, CHAIR OF INFRASTRUCTURE SERVICES COMMITTEE

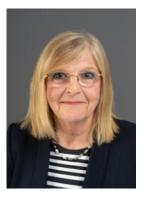
It is with gratitude to the many partners involved and to my fellow Elected Members over the course of this programme that we now present a final programme report on Fraserburgh Vision and Action Plan. The Regeneration Strategy sought to build on assets in our four northern towns, to facilitate the creation of greater opportunities, and our ability to grasp those. Of course, regeneration is not about any single action or single partner but about multiple actions and multiple partners over time building resilient social, economic and physical capital.

Property owners who have invested, with our support, in bringing back vacant buildings into use, economic partners like Robert Gordons University working with our library service to develop business ecosystems in our well-loved libraries, our Ports in Macduff, Fraserburgh and Peterhead planning and investing in critical infrastructure to support our maritime industries and diversify our maritime offering towards the offshore wind industry which we expect to see much more of over the next decade. Our town centre businesses who have worked tirelessly to maintain town centre offerings against appalling economic and social dynamics are testament to the strength of character of our towns and community spirit. That same community sprit has rallied over the period to develop valuable community assets like the Vinery in Banff, Victoria Park in Peterhead and multiple sports facilities in Fraserburgh. Repositioning our coastal towns to be at the confluence of our land and sea assets is long-term work. Our north coast communities still face health and economic inequalities. This leads us to develop a broader Place Based approach across Aberdeenshire, across all of our services, to build on the foundations created by this programme and work diligently to ensure the opportunities afforded to us over the next decade work for all our communities, that our economic focus develops local wealth, is inclusive and sustainable. I look forward to working with many more partners in these endeavours and to continue to strengthen the towns of Banff, Macduff, Fraserburgh and Peterhead through this approach.



COUNCILLOR DOREEN MAIR, CHAIR OF BANFF AND BUCHAN AREA COMMITTEE

As the Regeneration strategy draws to a close, we can look back with immense pride at everything that has been achieved and the foundations that have been laid for future improvements. In Fraserburgh, the work of our services in collaboration with our community in delivering our largest town centre improvement for many years; Fraserburgh 2021 was exceptional. The approach taken in Fraserburgh has led to national attention in multiple awards, these include two RTPI Awards including Best Project and the SURF's "Scotland's Most Improved Place" award in 2021. We've seen developments at the South Links by our diverse sporting community and serving folk of all ages, an enterprising culture based around Fraserburgh Enterprise Hub helping our businesses thrive and new ones to start-up and many, many more initiatives to improve our town. We now look forward to the future improvements at the beach designed in discussions with our residents, one of our best natural assets. I hope you will enjoy reading this report and we look forward to building on these successes with our unique and brilliant community to continue to develop a healthy, inclusive, economically successful and sustainable town.





Introduction

Aberdeenshire Council's Regeneration Strategy, "From Strategy to Action: Developing Excellence in our North Coast Communities" was approved by Infrastructure Services Committee on 17 March 2016. This strategy agreed to concentrate regeneration efforts in the four northern towns of Banff, Fraserburgh, Macduff and Peterhead. Infrastructure Services Committee also agreed the plan for each town and notional budget allocations for each from the Council's regeneration reserve.

The Fraserburgh Regeneration Vision & Action Plan 2016-2021 received a notional budget allocation of £1,137,000 over the lifetime of the Plan.

Locally, the delivery of the Plan has been overseen by the Fraserburgh Regeneration Development Partnership, whose membership comprises the four Elected Members, Council officers and local partners representing business, community and learning institutions in the town. Initially the Partnership was chaired by an Elected Member and towards the end of the programme this responsibility was transferred to a local business leader.

The Regeneration Vision & Action Plan is an attempt to deliver a planned programme of interventions to improve many aspects of living and working in Fraserburgh. The Plan includes several large scale and smaller projects and the sum of its parts have very much more impact than any of the individual projects in isolation. The Plan focuses on three core themes ('The Economy', 'The Environment' and 'People, Communities, Health and Wellbeing') with several objectives and activities underpinning each theme (see next page).

In October 2019, a Mid-Term review of the Plan was carried out by the Partnership. This review identified strong progress in many areas and a desire to continue to pursue more impactful initiatives. In March 2020, with the onset of the Covid-19 pandemic, progress stalled as prioritisation was given to the pandemic response and recovery. The Council's reserves budgets, including the regeneration reserve, were frozen in April 2020 for around 15 months, although the budget was made available again to support priority projects. Having effectively lost around 18 months of delivery time, it was agreed that the Regeneration Plans remain live until such time as the Aberdeenshire Place Strategy was more advanced.

the projects that have been directly funded through the Plan. When adding in other regeneration activity (for example Fraserburgh 2021) alongside recent private investment Reservoirs in the stress of the past 5 years.

At the outset, the Plan also established a range of socio-economic Indicators and Targets that it hoped to deliver. At the time of writing this update, 10 of the 11 indicator targets had been met or exceeded (often by a significant margin) and the other one was close to being achieved





Fraserburgh Regeneration Priorities 2016-21

THE VISION FOR 2021

Fraserburgh is VIBRANT and OPEN FOR BUSINESS, a town which looks OUTWARD whilst also caring for its COMMUNITY. Deserving of a reputation for EXCELLENCE as one of the UK's finest MARITIME towns, with a distinctive PUBLIC REALM of the highest quality, retaining a MEMORY OF PLACE whilst creating NEW PLACES to draw on the legacy of earlier generations. A town which places INCLUSION and ENTERPRISE at the heart of everything it does, developing an INNOVATIVE and CREATIVE culture that EMPOWERS people.

Delivered through 3 ACTION Themes:

The Economy

- Supporting Enterprise
- Stimulating Innovation
- Creating Diversity and Resilience

The Environment

- Creating Inspiring Places
- Revitalising key sites and buildings
- Investing in Infrastructure

People and Communities

- Promoting Participation, Pride and Engagement
- Support Wellbeing & Healthier Lifestyles



Financial Summary Dashboard

FRASERBURGH REGENERATION VISION AND ACTION PLAN PROGRESS UPDATE

FINAL REPORT - SPRING 2024 FINANCIAL SUMMARY Projects Supported: 23 Notional allocation: £1,137,000 yet spent Commitment to date: £1,037,962 Spend to date: £883,370 Commitment not yet spent: £154,591 Unallocated: £99,038 (8.7%) Spent Leverage: £1: £9.20 *In addition to expenditure on the core* £ Regen: £ Match themes, a sum of £4,583 was spent during the Plan period on strategic and administrative costs. THEME 3 - PEOPLE, THEME 2 - THE THEME 1 - THE ECONOMY COMMUNITIES, HEALTH & ENVIRONMENT WELLBEING Allocation: £433,000 Allocation: £305,000 £399,000 Allocation: Commitment: £610,759 £185,619 £241,584 Commitment: Commitment: £456,168 £185,619 £241,584 Spend: Spend: Spend: Total Investment Value: £7,239,456 Total Investment Value: £955,730 Total Investment Value: £1,356,272 Unallocated: -£177,759 Unallocated: £119.381 Unallocated: £157,416

PERFORMANCE DASHBOARD



Outputs Summary Dashboard

OUTPUTS AND OUTCOMES SUMMARY - CORE INDICATORS (FROM ACTION PLAN)

	Core Indicator	Target (2016-21)	To date**
D	Leverage (non-Regeneration 'match' funding secured)	£8,390,000	£15,930,355
	Jobs Created or Sustained / Safeguarded	130	237
	New Business Creations / Start-Ups	30	71
2	Business Assisted (instances of business support)	150	348
<u>`</u>	Community Groups or Projects Assisted	60	69
<u>Ş</u>	Events supported	36	69
Ñ	Properties Assisted / Improved	40	36
T	New houses built	30	30
	Instances of support provided to develop sports facilities / activities	6	9
4	Number of Volunteers	200	472
U,	Volunteer Hours	3500	4211



Nationally Recognised

In December 2021, Fraserburgh was announced as 'Scotland's Most Improved Place' at the national SURF regeneration awards. The SURF awards are always highly competitive and historically Aberdeenshire has not been terribly successful, despite submitting several nominations over the years. This success was achieved by a 'whole-place approach' and the judges were struck by the sheer breadth and diversity of work that had been done — to improve the built environment, to support enterprise, to improve health and wellbeing outcomes, to promote the town, and to encourage inclusivity and participation. The award also recognised the way that the public and private sectors and the community have united to deliver this and underlined the strength of having a long-term programme.

The Fraserburgh 2021 Conservation Area Regeneration Scheme also won the 2022 RTPI Scotland Planning Excellence award for their efforts to transform the image, quality and economic vibrancy of the commercial core of Fraserburgh by investing in the unique built heritage.

The Faithlie Centre was shortlisted for the RIAS/RIBA architectural awards in 2020.



The Fraserburgh Storyboard – key projects and achievements



Broch boom town: How Fraserburgh has bucked pandemic trend with a dozen new shops





Fraserburgh Enterprise Hub



Fraserburgh Enterprise Hub started in April 2018. Originally funded through the North Aberdeenshire LEADER programme and the Regeneration Plan, the project was initially due to end in September 2020. However, the vast success and impact of the project saw it continue through an ongoing partnership between Elevator and Aberdeenshire Council. Based in The Faithlie Centre, the project established itself as a trusted and impartial business support service and can be credited with supporting over 250 local businesses, including over 70 start-up enterprises.

The project has been one of the highlights of the regeneration activity in Fraserburgh and has truly shown the value of locally-based 1-2-1 business support.

The project ended in March 2024 with the Enterprising Aberdeenshire programme picking up local business support activities.

FRASERBURGH ENTERPRISE



Powered by ELEVATOR
in partnership with Aberdeenshire Council



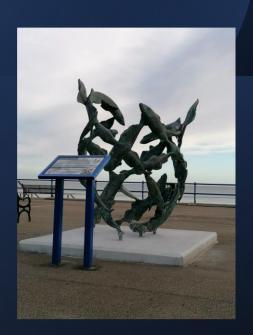


The commitment to develop the Enterprise Hub was instrumental in attracting significant funds for The Faithlie Centre, which also houses the Council's main customer service point, Council Chamber and other mixed-use spaces. Through Scottish Government programmes such as the Regeneration Capital Grant Fund, the Town Centre Fund and the Place Based Investment Programme, the Council has been able to add value to many of the schemes. Fraserburgh 2021 won the RTPI Scotland Award for Planning Excellence in 2022.

Fraserburgh 2021 was Aberdeenshire's flagship Conservation Area Regeneration Scheme (CARS). Comprising several linked projects, the initiative has supported improvement works to over 25 town centre properties, delivered a substantial public realm improvement project, and several community initiatives. Funding from the Regeneration Plan has directly contributed to projects such as the new Glover Garden and the John Trail hotel redevelopment. A Missing Shares scheme developed to ensure that was improvement projects to buildings in multiple ownership were able to proceed even if all owners could not afford their contribution upfront.



Fraserburgh Beach Vision & Masterplan



Following the comprehensive programme of investment in the town centre over the last few years, attention is turning to opportunities to regenerate areas around the Beach Esplanade to encourage new investment in this area and to attract more footfall and spend. A Masterplan has been developed following a substantial period of community engagement - this has set the long-term vision for the area and will guide future investment priorities to create a more fit-for-purpose destination.

The wider beach area has the potential to contribute much more to the local economy and the health and wellbeing of the community. It is, however, a special natural environment and must be maintained as such.

Several small improvements have already been enabled through the Regeneration Plan in this area including external improvements to, and outdoor seating for, the Café, new signage to and from the beach to the town centre and other attractions, and the installation of "The Net" sculpture – for which Coastal Communities funding was levered.













The beach is adjacent to a growing family of sports and leisure facilities in Fraserburgh (for a town of its size, Fraserburgh is extremely well served for indoor and outdoor sports provision). The 'Sports Hub' or 'Sports Village' concept is becoming more widely used to capture the array of opportunities and how these can support healthier lifestyles and wellbeing outcomes. Regeneration investment in the South Links track development (completed 2018) has added to the range of facilities and the Community Sports Hub network (Sport Scotland funded) is beginning to create more co-ordination between groups.

The latest addition to the 'Sports Village' is the new Skate and Wheeled Sports Park (completed 2022). The park replaced the previous facility that had come to the end of its useful life and follows a concerted effort by the Broch Skate Club and the community to turn it into a reality. The Regeneration Plan and the Banff & Buchan Area Plan provided the strategic framework for a significant grant to be awarded from the Place Based Investment Programme, which in turn levered in funds from Sport Scotland and EB Scotland (landfill fund distributor).

Growth and Inward Investment

A key element of the Regeneration Plan was to help diversify the local economy, support and grow existing businesses, encourage and nurture new enterprises, and to attract new private investment.

Whilst not directly because of the regeneration work, the decision of Moray East / Ocean Winds to base their Operations and Maintenance Hub in Fraserburgh was largely due to the positive working relations between Fraserburgh Harbour Commissioners and Aberdeenshire Council and the 'can do' approach. Their investment has been — and will continue to be - a huge boost to the town, creating new local jobs and supply chains.

Development of an ambitious long-term Masterplan for the future of Fraserburgh Harbour continues and the Beach Masterplan will also create new and exciting investment opportunities going forward.

The John Trail (Stag & Thistle) hotel development has provided much needed visitor accommodation in the town with more to come as the phased project continues.

Fraserburgh is looking forward to seeing the culmination of many years work when the Scottish Seafood Centre of Excellence is finally created. A significant grant from the UK Government should enable work to start soon.

An Inward Investment Prospectus (hosted by InvestAberdeen) draws together the socio-economic data that business leaders and investors may need when deciding to start or relocate their businesses.





Working together, achieving more



During the period of the Regeneration Plan, the business community has also regrouped and re-focused. Broch Businesses Together, working with Fraserburgh Community Council and other local partners put on several events and campaigns each year aimed at encouraging people to support local traders.

Meanwhile, Aberdeenshire Council has committed to supporting the use of the 'Scotland Loves Local' giftcard. Fraserburgh businesses have been quick on the uptake of the card.

Through the Council's Town Centres Phoenix Fund, students at Nescol created some wonderful new artwork to help brighten up the town centre.



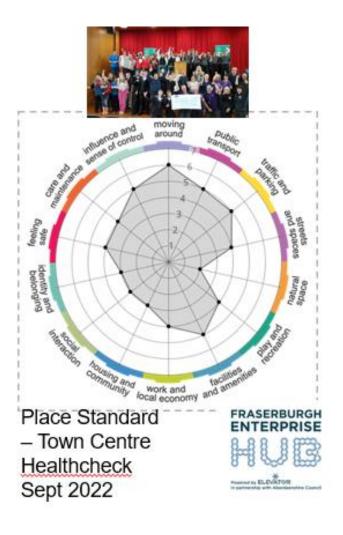
Whilst not part of the original design of the strategy (the Place Standard was not widely used in Aberdeenshire in 2016), the Fraserburgh Plan has delivered against all 14 elements of the Place Standard, demonstrating the breadth and diversity of activity supported.

This document shows how this has been achieved.

















Delivering against the Place Standard

The Fraserburgh Snapshot — all our projects neatly packaged





Note: this summary includes only those projects that have received direct financial support through the current or previous Regeneration Action Plans. Arranged broadly in chronological order with the most recent projects at the top.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
		FROM C	URRENT REGENERATION ACTION PLAN,	2016-2021
Scottish Seafood Centre of Excellence	Expected start on site 24/25	Total project: £TBC Regeneration Funds: £100,000	 Support the industry with a workforce that will enable the introduction of new technologies and lean & safe working practices; 	 285 businesses supported; 500 training places per annum; 1,900 training days per annum; 250 young people engaged per annum.
		UK Govt : £3m	 Work with national partners to develop skills-based opportunities to increase productivity and efficiency in all fishing and seafood sector activities. 	
Beach Vision & Masterplan	June 2022 – October 2023	Total project: £48,466 Regeneration Funds: £35,000	 To develop a long term, community-driven vision for the wider Beach Esplanade area; To inform a series of future pipeline projects. 	 Robust, locally owned masterplan; Community engaged and empowered; Evidence for future Local Development Plans.
Fraserburgh Enterprise Hub (Elevator)	April 2018 – March 2024	Total Project: £410,561 Regeneration Funds: £261,561* Match funding from the LEADER programme (£149k)	 Partnership between Elevator and Aberdeenshire Council; Support for new and existing businesses and for entrepreneurs; Events and rural outreach; Support diversified local economy and development of supply chains; 	 Supported over 250 businesses / entrepreneurs with high quality business advice and signposting; Supported over 70 new business start-ups; Supported creation of over 80 jobs; Provide or broker training and skills development for 150 participants; Events, workshops and rural outreach.
			 Increase uptake of business support in Fraserburgh. 	*Maximum amount. Financial closure due May 2024.

Project Name	Dates	Budget	Project Aims (summary) Outcomes and Outputs achieved / targeted (summary)	
John Trail Redevelopment Project	March 2020 – April 2023	Total Project: £1,373,246 Regeneration Funds: £174,747 Match funding from	 Redevelopment of former Bookshop into small commercial hotel; Regeneration and conservation of historic building in town centre; Business opportunity. Supply of much needed visitor accommodation capacity to support tourism and business trips; Environmental improvements to town centre. 	
		F2021, SG TCF and PBIP	Business opportunity.	
Glover Garden	September 2021-May 2022	Total Project: £110,109 Regeneration Funds: £25,000	 Development of Japanese-inspired courtyard garden at 15 Commerce Street to commemorate birthplace of Thomas Blake Glover; 160 sqm gap site (previously derelict) developed with courtyard garden space for locals and visitors; Promotes links with the Glover legacy; Engagement and involvement of schools through design challenge. 	
		Match funding from F2021, SG TCF and private	Create new visitor attraction – particularly for Japanese visitors seeking to follow the roots of Glover;	
		investment	Community and school engagement project;	
Signage &	April - October 2021	Total Project: £35,905	 Enhance international links. Signage improvements in key 9 new fingersigns (complete network replacement); 	
Information Package	April Cotonio	Regeneration Funds: £850	 Iocations (beach, town centre); Support navigation around Fraserburgh and orientation for Incating is (complete network replacement); 2 new town map panels; Upgrade of public transport information display at Broad Street bus stop; 	
		Match funding from Coastal Communities, Nestrans	visitors; Renew old worn street furniture to improve environment. 5 new water safety signs at the beach; Interpretation panel for 'The Net' sculpture relocation.	
Fraserburgh Beach Café External Improvements	April 2019-May 2020	Total Project: £44,762 Regeneration Funds: £7,017	 To support the relaunch of the Beach Café under new management; Redecoration of external surfaces – walls, woodwork; Creation of 18 new, and 1 safeguarded Job; Enhanced visitor attraction / facility; Improvement to key visible building on Esplanade; Estimated 30 additional visitors per week; Early phase of overall beach regeneration focus; 	Item 7 Page 159
		Match funding from private investment and Feuars Managers.	 External signage; External under-soffit lighting; Outdoor tables, chairs, planters. Eventual extension of operating hours and services offered. 	

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
Community CCTV Enhancement Project	November 2018 to October 2020	Total Project: £70,000 Regeneration Funds: £60,000 Match funding from public and private donations and fundraising	 Replace old CCTV cameras with state-of-the-art modern alternatives; Install new cameras at key locations not currently covered; Improve monitoring and detection of criminal incidents; Support safer communities agenda in the town centre – in particular the evening economy. 	 Upgrade 6 existing fixed camera locations; 5 new pan, tilt and zoom camera locations; New 'back office' monitoring and recording facility at Police Station; Increase community safety, reduce fear of crime, increase dwell time in the town centre; Support for local businesses.
Frozen Fraserburgh 2019	November-December 2019	Total Project: £30,934 Regeneration Funds: £504 Match from sponsorship, donations, income and grant funding	 Support the delivery of big festive winter event in town centre; Gap funding for additional costs incurred from loss of partnership with Super Saturdays; Encourage footfall into town centre and busy retail period; Offer free / subsidised family entertainment. 	 Support for 20 businesses and 13 community groups – in addition to general benefit to all town centre traders from increased footfall; Attracted c. 5k visitors over 3-day event; Engagement and participation (in running the event) of 128 young people; Overall 200volunteers and 815 volunteer hours; Marketing and promotion of town centre.
Fraserburgh Movie Nights	June 2019-March 2020	Total Project: £7,162 Regeneration Funds: £850 Match from ticket sales and sponsorship	Provision of printing for tickets and posters for 6 screening events (12 movies) during 2019/20.	 6 movie events (12 shows); 1,715 visitors; 12 volunteers; 275 volunteer hours.
Former Clydesdale Bank Exploratory Project	May 2019 – September 2019	Total project: £3,000 Regeneration Funds: £3,000	 Architectural scoping work to identify feasibility of purchase and redevelopment of building to incorporate into John Trail hotel redevelopment. 	 Potential to provide platform for purchase and integration of building into wider hotel development; Provided base information for successful Scottish Government Town Centre Fund bid for purchase and urgent works.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
# Fraserburgh 48	January 2019 to December 2019	Total Project: £30,000 Regeneration Funds: £5,000 Match funding from Visit Scotland (£15k) and private pledges (£10k)	Digital destination management project to encourage the current visitor stay time in Fraserburgh to change from an average of 24 hours to 48 hours.	 Supported 32 businesses; Public library of 1,088 professional images taken; 7 short videos produced; 5 visitor itineraries developed; 90% new visits to DFTG website; Increase visitor numbers by 25% (long term); Increase overnight stay rates in and around Fraserburgh.
F2021 Missing Shares Pilot	January 2019 to completion	Total Project: £529,737 Regeneration Funds: £52,467 Match funding from F2021 (Council, HLF, HES)	Trial scheme to provide repayable financial assistance to property owners in targeted F2021 Priority buildings to meet their share of the heritage improvement works.	 Overcomes financial barriers to enable 3 F2021 priority projects to proceed which otherwise would have been undeliverable; Improvements to key heritage buildings in the conservation area.
Super Saturdays	2014-2019	and property owners Regeneration Budget Allocated: (Previous Action Plan:) • 2014/2015 - £73,616 • 2016/2017 - £36,509 (Current Action Plan:) • 2018/2019 - £40,928 Plus private donations and volunteer time.	 Community Market event to improve town centre vibrancy; To make the town centre more attractive to visitors and residents to increase footfall, shop, socialise and dwell longer. 	 6 events delivered each calendar year; Initial events saw 18-20 stallholders which increased to between 38-42 per event by 2017; Provided a platform for Aberdeenshire Council and other services to engage with the community; Encouraged people to use their local town centre and the businesses which are in the town; Volunteer hours c. 2,170; Increased footfall and vibrancy in the town centre; Provided low cost family day out for all, removing financial barriers. Short-listed for SURF regeneration award in 2015.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
Active Fraserburgh Week	August 2015 - 2018	Regeneration Funds: (Previous Action Plan:) • 2015 - £6,200 • 2016 - £7,500 (Current Action Plan:) • 2017 - £6,826 • 2018 - £6,908	 Fraserburgh is fast becoming known for its impressive and growing range of indoor and outdoor sports and recreation facilities; To help showcase what is available and encourage people to live more active lifestyles. 	 2018 – 102 sessions across 47 activities with 768 places booked. 454 Volunteer hours; 2017 – 120 sessions with 763 places booked; 2016 – 91 sessions with 748 places booked; 2015 – 52 sessions with 455 places booked; Online booking system introduced in 2017 to make it easier to book/ amend bookings; 2017 saw participation from new venues including Polfit, Fraserburgh Fitness Centre and provided opportunities to participate in new activities such as Tai Chi, Karate and Yoga; Fraserburgh Surf Club managed to use equipment and training that was funded via the Your Voice, Your Choice project to deliver beginner Surfing Lessons; 'Active Fraserburgh Week' has become a feature of the town's events diary over recent years since starting in 2015!
South Links Sports Facility	Funding package secured March 2017.	Total project: £1,187,809 Regeneration Funds: £150k Developer Obligations: £10,600 Robertson Trust: £99k Sports Scotland: £200k RCGF: £455,209 Leader: £272k Running Club: £1k	 Creation of a new running track, all ability cycle track and competition sized football pitch; Encourage greater interaction with sports activities in Fraserburgh and to improve overall health and well-being of residents; New roof to Pavilion (2023) 	 New Community Trust created in 2016; Secured over £1 million of external funding; Track completed October 2017 with football area/ changing area completed in 2019; New facility attracting running, athletics and football events to the town; School and club use; Health and wellbeing outcomes.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
Your Voice Your Choice	June 2017	Total project £100k Regeneration Funds; £50k Health & Social Care Partnership £50k (Project also run in 2016 which was fully funded by Health & Social Care Partnership).	Participatory Budgeting Funding Programme inviting local groups/ individuals to apply for up to £10,000 to help fund projects that contribute to the Fraserburgh Regeneration Partnership Action Plan aims — particularly those that seek to build community participation and pride in the town and improve health and well-being.	 35 groups presented on the day, 1 withdrawn application; 154 in attendance; 22 projects out of 34 funded, each receiving between £500 and £10,000; 1770 votes cast on line (3 votes per person); 155 votes cast on Big Vote Day (3 votes per person).
Town Centre 'Clean Up'	May 2017	Regeneration Funds: £28,070	Undertake a 'deep clean' of key streets and passages in the town centre to improve the visual condition of the town centre and encourage more footfall.	 An improved vibrancy in town centre; Help to make Fraserburgh a more inspiring and engaging place; Improved sense of civic pride; Promote a positive image to businesses and visitors; Streets cleaned included High Street, Broad Street, Cross Street, Mid Street, Saltoun Square; Positive feedback from visitors and businesses.
Seafood Centre of Excellence Feasibility	2017	Regeneration Funds £17k	 Feasibility Study to analyse the proposed development of a Scottish Seafood Centre for Excellence (SSCE) based in Fraserburgh to serve both the NE of Scotland and wider fish processing sector. 	economic sustainability of a dedicated SSCE; • Wide partnership of local, regional and national stakeholders engaged.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
		FR	ROM PREVIOUS REGENERATION ACTION	PLAN
Here For You Centre	2014 – 2018	Regeneration Funds £54k	 A centre offering a range of services to the community, operated by a partnership of organisations and aims to help people develop skills, gain experience and look for work. 	 Supported over 1,700 people; Financial gain of over £1m for users of the advice service; The centre ensures people can access services and get accredited advice, information, support and training appropriate to their individual need and circumstances; Very well used facility with growing client base and around 600 visits per month.
Heritage Way Housing	Completed November 2016	Regeneration Budget: £50k	 Following a successful bid to Scottish Government Greener Homes Innovation Scheme, the properties were designed and built to be low carbon and highly energy efficient to help address fuel poverty and reduce the cost to tenants. 	 The development replaced a former derelict brownfield site and further assisted with the regeneration of the northern part of Fraserburgh. The scheme consists of a mix of 30 zinc clad houses and flats which range from 1 bed flats to 4 bed houses; Four of the houses were also specifically designed and built to meet the needs of four specific households who required accommodation to assist with their physical disabilities; Partnership with RGU to monitor energy performance of the dwellings and support residents to reduce costs.
Hotel Prospectus	Produced Spring 2016	Regeneration Funds: £500	 Attract potential accommodation investors, developers and operators to Fraserburgh 	
Mosaics at Saltoun Square Arcade	Completed December 2015	Total Project: £74,000 Regeneration Funds: £25,000 Housing Revenue Account: £27,000	 Improve retail space, light and appearance in and around the arcade area which had been in decline for number of years and has been consistently seen as dark and unsafe area. 	 Created two apprenticeships for long term unemployed people working with the artist developing artistic skills; Collaboration with two local schools to carry out a 'placemaking' exercise; Improved the appearance of the retail area and brightened the space with two colourful mosaics depicting heritage of Fraserburgh; Encouraged new retail units to open up in the area.

Project Name	Dates	Budget	Project Aims (summary)	Outcomes and Outputs achieved / targeted (summary)
Retail Plus	May 2014 – March 2015	Regeneration Budget Allocated: £171,250	 Upskill retailers with knowledge and expertise to help sustain their business, raise profile and improve reputation; Identify key opportunities / areas for improvement within each business; Improve the look of Fraserburgh town centre as a retail destination. 	 Total Council Investment for enhancement grant element of project: £128,339; Total Private Investment: £256,292; 46 shops took part and received expert consultation advice and an enhancement grant; Funding of up to £5,000 with intervention rate of 75%; 35% of participating businesses reported increased turnover; Businesses reported safeguarding of jobs; Commended by independent evaluation in 2016.
Coca Cola Truck	November 2015	£350 of Regeneration Funds to promote the event	 Fraserburgh had the opportunity to host the Coca-Cola truck in the town centre on Saturday 21st November 2015. Fraserburgh was one of only 5 lucky stops in Scotland to act as host to the famous vintage truck and trailer. 	 and supported the truck by hosting mini events and special offers in their premises; Coca- Cola team tweeted about how good the community spirit was in the town;
Harbour Pontoons	Completed 2014	£67,259 of Regeneration Funding to match Aberdeenshire European Fisheries Fund.	 Installation of floating pontoons in the Harbour to support the diversification of the harbour offer to host smaller vessels to complement facilities for the fishing fleet. 	 Installation of pontoons for 30-40 smaller vessels to use the port on a regular basis enabling Fraserburgh Harbour to develop part of the South Harbour into a community asset as the public are able to use the facility; Allows the harbour to develop and diversify; Well used facility; 10 screenings per calendar year with an afternoon family
Fraserburgh Cinema	Commenced December 2013	Regeneration Budget – support of c. £1,000 per year for promotional costs	 Provide a low-cost cinema option in Fraserburgh, removing financial barriers and the need for long travel distance. 	 10 screenings per calendar year with an afternoon family friendly showing and an evening film for a more mature audience; Regularly sells out and contributes to livelier evening economy with increased numbers at local restaurants.

Item 7







REPORT TO BANFF & BUCHAN AREA COMMITTEE - TUESDAY, 12 MARCH 2024

DRAFT ABERDEENSHIRE BRITISH SIGN LANGUAGE (BSL) PLAN 2024-30

- 1 Executive Summary/Recommendations
- 1.1 The Scottish Government published the National British Sign Language (BSL) Plan 2023-2029 on 6 November 2023 ("the national plan"). It is a requirement of the British Sign Language (Scotland) Act 2015 that public bodies, including Aberdeenshire Council, produce and publish a local plan supporting the long-term goals in the national plan within six months of the publication of the national plan.
- 1.2 The Committee is recommended to:
 - 1.2.1 Consider and comment on the draft Aberdeenshire British Sign Language Plan attached to this report; and
 - 1.2.2 Note that comments will be collated following consultation with all Area Committees, Education and Children's Services Committee and Aberdeenshire Integration Joint Board before the final plan is presented to Business Services Committee on 18 April 2024 for approval.

2 Decision Making Route

2.1 The draft local plan, attached as Appendix 1, will be considered by all Area Committees as well as Education & Children's Services Committee and the Aberdeenshire Integration Joint Board. Comments will be collated and included in the final plan presented to Business Services Committee on 18 April 2024 for approval.

3 Discussion

- 3.1 The draft plan has been developed collaboratively with Education & Children's Services, specifically Sensory Support Service, Developing the Young Workforce (DYW), Live Life Aberdeenshire, Transportation, Elections, Legal & People, and Aberdeenshire Health & Social Care Partnership.
- 3.2 Consultation and engagement has taken place online using the Engage Aberdeenshire platform. The online consultation was shared with BSL users through SignVine, a social media page for the deaf community in Aberdeenshire and through the SeeHear strategy group.
- 3.3 Face to face engagement was carried out at the <u>Deaf Club</u> run by <u>North East Sensory Services</u> in Aberdeen on 13 January 2024 and 12 February 2024.

- 3.4 Progress on delivery of the local plan will be monitored and reported using the mechanisms in place for Equality Mainstreaming reporting.
- 4 Council Priorities, Implications and Risk
- 4.1 This report helps deliver all Council Priorities.

Pillar	Priority
Our People	Learning for Life
	Health & Wellbeing
Our Environment	Climate Change
	Resilient Communities
Our Economy	Economic Growth
	Infrastructure and public assets

4.2 The table below shows whether risks and implications apply if the recommendation(s) is (are) agreed.

Subject	Yes	No	N/A
Financial		X	
Staffing		X	
Equalities and Fairer Duty	IIA attached as		
Scotland	Appendix 2		
Children and Young People's	IIA attached as		
Rights and Wellbeing	Appendix 2		
Climate Change and		X	
Sustainability			
Health and Wellbeing	IIA attached as		
	Appendix 2		
Town Centre First		X	

- 4.3 There are no staffing or financial implications as a result of the draft plan. Actions will be carried out within existing budgets and resources.
- 4.4 An integrated impact assessment has been carried out as part of the development of the proposals set out above. It is included as Appendix 2 and there are positive impacts as follows
 - Equalities age (younger and older), disability
 - Children's Rights & Wellbeing
 - Health Inequalities
- 4.5 The following Risks have been identified as relevant to this matter on a Corporate Level <u>Corporate Risk Register</u>
 - ACORP002 Changes in government policy, legislation and regulation
 - ACORP006 Reputation management (including social media)

5 Scheme of Governance

- 5.1 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report and their comments are incorporated within the report and are satisfied that the report complies with the Scheme of Governance and relevant legislation.
- 5.2 The Committee is able to consider this item in terms of Section B.1.2 of the <u>List of Committee Powers in Part 2A</u> of the Scheme of Governance to consider, comment on, make recommendations to Services and any other appropriate Committee on any matter or policy which impacts its Area.

Rob Simpson

Director of Business Services

Report prepared by Kakuen Mo, Policy Officer and Fiona McCallum, Business Strategy Manager 21 February 2024

List of Appendices

Appendix 1 Draft British Sign Language Plan 2024-2030 Appendix 2 Integrated Impact Assessment

APPENDIX 1

Aberdeenshire Council British Sign Language (BSL) Local Plan 2024-2030

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SECTION 1: Introduction

The Scottish Government published its <u>British Sign Language (BSL) National Plan</u> <u>2023-2029</u> ("the national plan") on 6 November 2023. The aim of the plan is to make Scotland the best place in the world for BSL signers to live, work, visit, and learn.

The national plan focuses on ten priorities with an emphasis on children, young people and their families, health and wellbeing, celebrating deaf culture and tackling accessibility for BSL users. Each of the priorities has a mix of short, medium and long-term goals that will be delivered throughout the life of the plan that will build the foundations required to meet the longer-term ambition for BSL in Scotland.

The BSL (Scotland) Act 2015 requires public bodies in Scotland to develop and publish a local plan which demonstrates how they will work towards supporting the implementation of the national plan.

This plan sets out the goals and actions for Aberdeenshire Council from 2024-2030 and is framed around the same priorities as the national plan. Additionally, the Aberdeenshire BSL plan ("the local plan") aims to ensure equal access to services and support for BSL users across Aberdeenshire.

Consultation was carried out using the Engage Aberdeenshire platform from 18 December 2023 to 19 January 2024. The consultation was shared widely through SignVine, a social media page for the deaf community in Aberdeenshire, through Aberdeenshire See Hear strategy group. Face-to-face engagement took place with the deaf community through the Aberdeen Deaf Club, which includes BSL users in Aberdeenshire, on 13 January and 12 February 2024.

Engagement with BSL users will continue during the implementation and throughout the duration of this plan.

Aberdeenshire Council is committed to working in partnership whenever possible with Aberdeenshire Health and Social Care Partnership and local organisations working with BSL users and the deaf community in the development of common approaches to the delivery of our local actions.

Scotland's Census 2011 for the first time asked the question 'Do you use a language other than English at home?' The results are analysed in the publication Census 2011 equality results: analysis, part two, which includes a section on BSL users. Based on the responses, the publication states that it is estimated that around 12,500 people in Scotland use BSL at home and that this makes it 24 BSL users per 10,000 individuals. Scotland's Census 2022 asked 'Can you use BSL?' for the first time. The results of the 2022 Census are expected to be published during 2024 and are expected to provide data at a local authority level.

SECTION 2: Short summary of the plan

Aberdeenshire Council BSL plan is framed around the same long-term goals as the Scottish Government BSL National Plan 2023-2029 which include:

- BSL Accessibility
- Children, Young People and their Families
- Access to Employment
- Health and Wellbeing
- Celebrating BSL Culture
- Transport
- Democratic Participation

The local plan aims to improve equality of access to services or support for services for BSL users in Aberdeenshire. The plan sets out actions that we are going to deliver during the period 2024-2030. Here are the key outcomes with the actions in Section 4 that will help us achieve these:

- 1. Aberdeenshire Council will improve accessibility of its website for BSL users, providing information in an accessible format, consistently across the platform.
- 2. The <u>Getting It Right For Every Child</u> (GIRFEC) approach will be fully embedded, with Deaf and Deafblind children and their families offered the right information and support at the right time to engage with BSL.
- 3. Promoting Aberdeenshire Council as an employer of choice.
- 4. BSL users will have access to information and services with regard to Health (including Social Care), Mental Health and Wellbeing.
- 5. BSL users will have access to the cultural life of Aberdeenshire and will be encouraged to share BSL and Deaf Culture with the people of Aberdeenshire.
- 6. BSL users will be fully involved in democratic and public life in Aberdeenshire.

SECTION 3: Where are we now?

Aberdeenshire Council has supported BSL users to be involved in all aspects of life. We have done this by:

- Ensuring that services can request BSL interpretation through our translation contract.
- Providing a link to Contact Scotland BSL on our website.
- Developed a Deaf Awareness Card and booklet to signpost BSL users to different services.

- Employed two full-time Communicators in the Education Sensory Support Service to support BSL users in schools, to promote the BSL skills of colleagues and to support parents who are BSL users in their interactions with nurseries and schools.
- <u>Deaf Action Scotland</u> deliver statutory social work services to residents of Aberdeenshire who are sensory impaired on behalf of Aberdeenshire Health and Social Care Partnership.
- The Elections Team have made information on the <u>Access to Elected Office</u> Fund available on the Council website.

SECTION 4: BSL Aberdeenshire Council Plan – Actions

4.1 Aberdeenshire Council

We share the long-term goal for all Scottish public services set out in the national plan:

To remove accessibility as a barrier for BSL users in all aspects of life, recognising the importance of having accessible information in the right format at the right time, utilising technology and increasing people's awareness of communication tools.

We will:

- 1. Improve accessibility of the Aberdeenshire Council website for BSL users. We will continue to increase BSL videos on services and key information.
- 2. Continue to promote the use of Contact Scotland BSL, the BSL online interpreting video relay service to staff and local BSL users.
- 3. Continue to promote the availability of BSL interpretation across the Council.

4.2 Children, Young People and their Families

We share the long-term goal for all Scottish public services set out in the BSL National Plan

The Getting it Right for Every Child (GIRFEC) approach will be fully embedded, with a deaf or deafblind child and their family offered the right information and support at the right time to engage with BSL. We will strengthen partnerships between relevant organisations to overcome barriers for BSL users and deaf/ deafblind children to ensure they have the support they need at all stages of their learning, so that they can reach their full potential.

We will:

1. Where there are BSL users in the setting we will continue to provide Early Years staff with information about BSL and deaf culture and resources that are available in BSL.

- 2. Continue to deliver deaf awareness and basic signing to all staff i.e. teachers, nursery nurses/assistants, office staff, kitchen staff, visiting staff etc, prior to and during a BSL pupil being in the Early Years setting.
- 3. In settings where there are BSL users, we will continue to roll out BSL signage in nurseries e.g. in bathrooms and cloakrooms. We will facilitate the use of visual timetables using BSL signs.
- 4. Where appropriate, provide equipment to help the child access the curriculum.
- 5. At the time of referral we will continue to use the current induction programme to introduce families to the service. That includes: an initial call from a manager, visit from teacher of deaf children, sending a service leaflet or a BSL video and any information relevant to the child from other sources that might be helpful.
- 6. We will continue to offer regular visits to build up a relationship with parents/families, offer basic family signs and signed resources and offer deaf awareness to extended family, e.g. grandparents.
- 7. We will continue to promote deaf culture and to address social isolation by working with schools and nurseries and enabling families with deaf children to network.
- 8. Support parents who wish to access formal signing classes but cannot afford to, by collaborating with partner organisations.

4.3 Access to Employment

We share the long-term goal for access to employment set out in the BSL National Plan.

BSL users will receive person-centred support to develop their skills, consider what route to employment is right for them and enter into the workforce so that they can fulfil their potential and improve Aberdeenshire's economic performance. They will be provided with support to enable them to progress in their chosen career.

We will:

- 1. Continue to support managers and staff to make reasonable adjustments in the workplace.
- 2. Continue to promote Aberdeenshire Council as an employer of choice through displaying our Disability Confident (Employer) logo and continuing to work towards achieving Disability Confident Leader Status.
- 3. Continue to signpost managers, staff and Elected Members who use BSL to the <u>Access to Work</u> scheme for information on support available to undertake their role.
- 4. Continue making full use of the information and support provided through Skills Development Scotland to assist pupils and students in their career

- choices through attendance and promotion at school and university career fairs.
- 5. Produce BSL videos on Aberdeenshire Developing the Young Workforce website.

4.4 Health (including Social Care), Mental Health and Wellbeing

We share the long-term goal for health, mental health and wellbeing set out in the BSL National Plan

BSL users will have access to the information and services they need to live active, healthy lives and to make informed choices at every stage of their lives.

We will:

- Engage the Aberdeenshire See Hear Strategy Group to review information produced by NHS 24, NHS Grampian and Aberdeenshire Health and Social Care Partnership and third sector partners on how BSL users can access health and social care services and support which enables them to do this. We will work with partners to support the development of this information if required.
- 2. Work with NHS Inform, Aberdeenshire Health and Social Care Partnership, Live Life Aberdeenshire and local third sector and community groups to identify and promote a range of community healthy living opportunities to BSL users to reduce social isolation and to support individuals to live healthy independent lives (including healthy eating and healthy weight, active living and mental health and wellbeing).

4.5 Celebrating BSL Culture

We share the long-term goal for culture and the arts set out in the BSL National Plan:

BSL users will have full access to the cultural life of Scotland, equal opportunities to enjoy and contribute to culture and the arts and are encouraged to share BSL and deaf culture with the people of Scotland.

We will:

- Seek guidance from sector governing bodies regarding activity being supported and/or funded to support BSL users in other Local Authorities and services to Aberdeenshire.
- 2. Engage with the BSL community to understand how best to support inclusion and participation in Aberdeenshire cultural activities in conjunction with the Policy & Performance team.

- 3. Improve accessibility and raise awareness of BSL-supported events and programmes via Live Life Aberdeenshire (LLA) website & social media platforms.
- 4. Introduce BSL guidance to inform interpretation and customer experiences at the new Museum of Aberdeenshire (Peterhead).

4.6 Transport

We share the long-term goal for transport set out in the BSL National Plan

BSL users have safe, fair and inclusive access to public transport and the systems that support all transport use in Scotland.

We will:

- 1. Follow any guidance issued by Transport Scotland's Accessible Travel Framework as much as is feasibly possible.
- 2. Seek to work with local transport operators to collaborate and identify practical solutions to make public travel more accessible for BSL users.

4.7 Democratic Participation

We share the long-term goal for democracy set out in the BSL National Plan

BSL users will be fully involved in democratic and public life in Scotland, as active and informed citizens, as voters, as elected politicians and as board members of our public bodies.

We will:

- Take opportunities to promote the Access to Elected Office Fund locally, which can meet the additional costs of BSL users wishing to stand for selection or election in local, Scottish or UK Parliament elections.
- 2. Information on the Access to Elected Office Fund will be available on http://www.aberdeenshire.gov.uk/council-and-democracy/elections and highlighted within the nomination pack for any relevant election event.
- 3. Explore the use of BSL interpreters at Committee meetings.

SECTION 5: What happens next?

Aberdeenshire Council will continue to engage with the BSL community around implementing our actions. Progress will be reported through the Equality Outcomes mainstreaming progress reports.

Aberdeenshire Council

Integrated Impact Assessment

BSL Local Plan

Assessment ID	IIA-001816
Lead Author	Kakuen Mo
Additional Authors	Jane Wilkinson
Service Reviewers	Fiona McCallum, Jane Wilkinson
Subject Matter Experts	Susan Forbes, Kakuen Mo, Caroline Hastings, Annette Johnston, Christine McLennan
Approved By	Kate Bond
Approved On	Thursday February 15, 2024
Publication Date	Thursday February 15, 2024

1. Overview

This document has been generated from information entered into the Integrated Impact Assessment system.

Scottish Government published the BSL National Plan on 6 November 2023. The British Sign Language Act requires public bodies in Scotland to publish a local plan within 6 months of the publication of the National Plan. This IIA relates to the Aberdeenshire BSL Plan 2024-30 and has been developed collaboratively with colleagues in Aberdeenshire Health& Social Care Partnership. Consultation has taken place with the deaf community in Aberdeenshire via the Engage platform as well as face to face with Aberdeen Deaf Club. We have promoted the development of the local plan using SignVine a social media page specifically for the deaf community in Aberdeenshire, through Aberdeenshire See Hear strategy group and the Lived Experience Forum.

During screening 6 of 10 questions indicated that detailed assessments were required, the screening questions and their answers are listed in the next section. This led to 3 out of 5 detailed impact assessments being completed. The assessments required are:

- Childrens' Rights and Wellbeing
- Equalities and Fairer Scotland Duty
- Health Inequalities

In total there are 11 positive impacts as part of this activity. There are 0 negative impacts, all impacts have been mitigated.

A detailed action plan with 3 points has been provided.

This assessment has been approved by kate.bond@aberdeenshire.gov.uk.

The remainder of this document sets out the details of all completed impact assessments.

2. Screening

Could your activity / proposal / policy cause an impact in one (or more) of the No identified town centres? Would this activity / proposal / policy have consequences for the health and Yes wellbeing of the population in the affected communities? Does the activity / proposal / policy have the potential to affect greenhouse gas No emissions (CO2e) in the Council or community and / or the procurement, use or disposal of physical resources? Does the activity / proposal / policy have the potential to affect the resilience to No extreme weather events and/or a changing climate of Aberdeenshire Council or community? Does the activity / proposal / policy have the potential to affect the No environment, wildlife or biodiversity? Does the activity / proposal / policy have an impact on people and / or groups Yes with protected characteristics? Is this activity / proposal / policy of strategic importance for the council? Yes Does this activity / proposal / policy impact on inequality of outcome? Yes Does this activity / proposal / policy have an impact on children / young Yes people's rights? Does this activity / proposal / policy have an impact on children / young Yes people's wellbeing?

3. Impact Assessments

Children's Rights and Wellbeing	No Negative Impacts Identified
Climate Change and Sustainability	Not Required
Equalities and Fairer Scotland Duty	No Negative Impacts Identified
Health Inequalities	No Negative Impacts Identified
Town Centre's First	Not Required

4. Childrens' Rights and Wellbeing Impact Assessment

4.1. Wellbeing Indicators

Indicator	Positive	Neutral	Negative	Unknown
Safe		Yes		
Healthy	Yes			
Achieving	Yes			
Nurtured	Yes			
Active		Yes		
Respected	Yes			
Responsible		Yes		
Included	Yes			

4.2. Rights Indicators

UNCRC Indicators	Article 2 - Non-discrimination
upheld by this activity /	Article 3 - Best interests of the child
proposal / policy	Article 4 - Protection of rights
	Article 6 - Life, survival and development
	Article 12 - Respect for the views of the child
	Article 23 - Children with disabilities
	Article 28 - Right to education
	Article 29 - Goals of education
	Article 31 - Leisure, play and culture

4.3. Positive Impacts

Impact Area	Impact
Achieving	The BSL Plan actions enables children who are deaf to achieve within Education by having mechanisms in place to ensure they are included
Healthy	The BSL Plan action encompasses the Health and Wellbeing of children
Included	The BSL Plan actions enables children who are deaf to achieve within Education by having mechanisms in place to ensure they are included
Nurtured	The BSL Plan allows children to grow and develop in an environment that develops their resilience and a positive identity.
Respected	The BSL Plan actions enables children who are deaf to be respected

4.4. Evidence

Type Source	It says?	It Means?
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Туре	Source	It says?	It Means?
Other Evidence	Scottish Government consultation and BDA research	Priorities developed to ensure children and young people who are deaf, are included, and accessibility issues overcome	Local Plan reflects these priorities enabling them to learn and be included, taking away barriers.

4.5. Accounting for the Views of Children and Young People

Working closely with the Sensory Support Team who are in daily contact with the children

4.6. Promoting the Wellbeing of Children and Young People

The BSL Plan supports children and young people's health and wellbeing as a priority area and the actions reflect this

4.7. Upholding Children and Young People's Rights

The BSL Plan will enable children to be included and their needs met, ensuring they have access to the support they require

4.8. Overall Outcome

No Negative Impacts Identified.

The BSL Plan has only positive outcomes for the deaf community

5. Equalities and Fairer Scotland Duty Impact Assessment

5.1. Protected Groups

Indicator	Positive	Neutral	Negative	Unknown
Age (Younger)	Yes			
Age (Older)	Yes			
Disability	Yes			
Race		Yes		
Religion or Belief		Yes		
Sex		Yes		
Pregnancy and Maternity		Yes		
Sexual Orientation		Yes		
Gender Reassignment		Yes		
Marriage or Civil Partnership		Yes		

5.2. Socio-economic Groups

Indicator	Positive	Neutral	Negative	Unknown
Low income		Yes		
Low wealth		Yes		
Material deprivation		Yes		
Area deprivation		Yes		
Socioeconomic background		Yes		

5.3. Positive Impacts

Impact Area	Impact
Age (Older)	The BSL plan will have positive impacts to Age (Older) as the actions look to ensure they have access to services mirroring the priorities nationally.
Age (Younger)	The BSL plan will have positive impacts to children and young people due to the actions that provides the support within education and transitioning into work
Disability	Our Local BSL Plan has a positive impact to everyone in the deaf community
Disability	The BSL Plan has positive impacts on BSL Users across Aberdeenshire as the actions covers the priorities stated in the National plan within a local context.

5.4. Evidence

e Source	It says?	It Means?
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Туре	Source	It says?	It Means?
External Data	Scottish Government data	Meeting the priorities will ensure Scotland is the best place to live, visit and learn	Our Local Plan will meet the needs of the deaf community

5.5. Engagement with affected groups

Internal and external Engagement has been carried out through Engage Aberdeenshire, as well as engaging the deaf community in person at the deaf club. The sensory support team have also been involved as they have front line experience of needs.

5.6. Ensuring engagement with protected groups

The deaf community have been involved through the sensory support service, seehear group, the Deaf Club and through an online Engagement exercise.

5.7. Evidence of engagement

Engagement took place via Engage Aberdeenshire and was shared with the Lived Experience Forum. Findings have been documented and have fed into the development of our Local BSL Plan

5.8. Overall Outcome

No Negative Impacts Identified.

The BSL Plan provides positive outcomes to the deaf community

5.9. Improving Relations

Ongoing engagement and consultation is taking place to ensure the lifetime of the plan evolves as needs change

5.10. Opportunities of Equality

Learners and those transitioning into employment are one of the priorities alongside access to culture and arts.

6. Health Inequalities Impact Assessment

6.1. Health Behaviours

Indicator	Positive	Neutral	Negative	Unknown
Healthy eating		Yes		
Exercise and physical activity	Yes			
Substance use - tobacco		Yes		
Substance use - alcohol		Yes		
Substance use - drugs		Yes		
Mental health	Yes			

6.2. Positive Impacts

Impact Area	Impact
Exercise and physical activity	Working with NHS Inform and the local third and community sectors to identify and promote the range of community opportunities available for physical activity to BSL users. We will also work with Live Life Aberdeenshire to support people who are deaf to be physically active
Mental health	Working locally to look at supporting the national BSL plan to tackle Social Isolation.

6.3. Evidence

Туре	Source	It says?	It Means?
Internal Consultation	Services across Aberdeenshire and HSCP	What we can support BSL users on in the area of Health and Wellbeing	The actions reflect the national BSL plan at a local level

6.4. Overall Outcome

No Negative Impacts Identified.

There are no negative impacts in the Local BSL Plan

7. Action Plan

Planned Action	Details	
Seek approval of our Local BSL	Lead Officer	Kakuen Mo
Plan at the Committees	Repeating Activity	No
	Planned Start	Monday March 18, 2024
	Planned Finish	Thursday May 30, 2024
	Expected Outcome	Local BSL Plan approved
	Resource Implications	Staff time
Publish BSL Plan	Lead Officer	Kakuen Mo
	Repeating Activity	No
	Planned Start	Monday May 06, 2024
	Planned Finish	Monday May 06, 2024
	Expected Outcome	Local BSL Plan Published
	Resource Implications	Staff time
Local BSL Plan translated into a	Lead Officer	Kakuen Mo
BSL video and published	Repeating Activity	No
	Planned Start	Friday March 01, 2024
	Planned Finish	Monday May 06, 2024
	Expected Outcome	Local BSL Plan video published on Aberdeenshire Council website
	Resource Implications	Staff time



REPORT TO BANFF AND BUCHAN AREA COMMITTEE - 12 MARCH 2024

BANFF AND BUCHAN COMMUNITY PLAN ACTION PLAN 2022-2025 – MONITORING REPORT AND INTEGRATION OF ACTIVITIES FROM OUTGOING LOCALITY PLANS

- 1 Executive Summary/Recommendation
- 1.1 This report provides an update on the progress of actions in the Banff and Buchan Community Plan 2022-2025, and an update on the incorporation and alignment of priorities and activities carried forward from the outgoing Fraserburgh and Banff & Macduff Locality Plans, as part of the phased transition to place plans in Banff and Buchan.
- 1.2 The Committee is recommended to:
 - 1.2.1 Note and make comment to the Banff and Buchan Local Community Planning Group on the progress of actions in the Banff and Buchan Community Plan 2022-25.
- 2 Decision Making Route
- 2.1 This is the latest monitoring exercise for the 2022-2025 Banff and Buchan Community Plan. The monitoring table for the Plan is included as **Appendix 1** to this report.
- 2.2 The Banff and Buchan Community Plan (The Plan) 2016 2019 was the original fully established plan setting out Local Community Planning Partner priorities across the area. The Plan was refreshed in 2019, extending the plan following a light touch review from 2020–2022 and again in 2022, extending the plan from 2022–2025. The refreshed Plan was considered and endorsed by the Joint Banff & Buchan Local Community Planning Group (BBLCPG) meeting on 28 September 2022 (Item 6), following consultation with stakeholders and Community Planning Partners, and subsequently considered and endorsed by the Banff and Buchan Area Committee on 6 December 2022 (item 11).
- 2.3 The Banff and Buchan Community Plan is intended to be a living document that is updated on a frequent basis, to ensure that the plan remains reflective of local priorities and needs. Actions which have been completed, or no longer remain relevant, are removed from the Community Plan where appropriate. Commentary on progress for actions within the plan were provided from Banff and Buchan Local Community Planning Group via interim updates.

3 Discussion

- 3.1 It is the intention that existing Community Plans will eventually be replaced by Place Plans covering each of the seventeen school networks across Aberdeenshire. For Banff and Buchan this will likely focus, where appropriate, on the Banff & Macduff and Fraserburgh settlements and their adjacent settlements and rural communities. Work is currently underway to develop a Place Strategy.
- 3.2 Until these new plans are in place, the Banff and Buchan Community Plan will continue to focus on delivering actions developed in response to ongoing and emerging issues affecting the Banff and Buchan area, as determined by partner engagement and local consultation.
- 3.3 Some of the key themes emerging from the Community Plan progress update as attached at Appendix 1 include -
 - Evidence of partners' move towards innovative place-based approaches, including participatory budgeting exercises being undertaken by Aberdeenshire Voluntary Action (AVA) and local Place Economy and Housing teams, as well as input from expert organisations and use of place-based tools, including the Community Chartering Network Citizens Assembly project, Aberdeen for a Fairer World's place-based work with pupils in Banff and Macduff and the Shaping Places for Wellbeing Programme (Fraserburgh).
 - Continued buy-in from local groups to refresh and/or establish Community Action Plans, with some groups also making tentative enquiries about the development of local Place Plans, reflecting a growing community interest in shaping local land use and spatial plans.
 - Consolidation and strengthening of partnership working, as evidenced through activities in rural settlements such as the Aberchirder Community Action Plan (CAP) refresh and coastal path enhancements, Banff and Buchan's inaugural Wellbeing Festival events spearheaded by Public Health, 'Brew with the Crew' Scottish Fire and Rescue public drop in events in Fraserburgh with local partners, and the multi-service presence and delivery of a diverse activity programme at community hubs such as the Vinery in Banff.
 - Local community planning partners' continued commitment to deliver both on time-limited events and interventions and complex and deep-rooted challenges such as rural transport, anti-social behaviour and food accessibility planning over the longer-term, drawing down strategic and national resources and funding where available.
 - The steady increase in the demand for welfare, employability, and mental health support arising from the cost-of-living crisis and rural isolation.

- 3.4 Since 2017, Banff and Buchan's Fraserburgh and Banff and Macduff communities have also benefitted from activities delivered in support of the Fraserburgh Locality Plan and the Banff and Macduff Locality Plans, with oversight provided by the Banff and Buchan Local Community Planning Group and the former Connected and Cohesive Communities Committee. A statutory requirement for community planning partnerships and a key vehicle which supports the delivery of the former Connected and Cohesive Communities theme in the Aberdeenshire Local Outcomes Improvement Plan (LOIP) Locality Plans seek to harness partnership activities to target resources in localities experiencing cumulative disadvantage.
- 3.5 The Aberdeenshire Community Planning Partnership (CPP) Board, on 7 September 2022, agreed that the former Connected and Cohesive Communities LOIP theme would cease as a priority, and work underway through that theme including the Locality Plans for Fraserburgh and Banff & Macduff would also cease and transition to Place Plans (the Locality Plan for Peterhead will continue and report to the Board by exception only). On 13 September 2023, the CPP agreed that an evaluation report in respect of the delivery of the Banff and Macduff, and Fraserburgh Locality Plans be collated and reported to the CPP Board in March 2024.
- 3.6 Work to collate the Locality Plans' close out reports have offered an opportunity to tentatively scope out both continuing and new priorities and actions to be taken forward, as the Banff and Buchan Local Community Planning Group prepare for the development and introduction of Place Plans.
- 3.7 The priority themes earmarked as continued or emerging priorities are summarised below (not in priority order)
 - Tackling Poverty
 - o wrap around support for existing and new residents, tenants etc.
 - crisis and transition support to positive pathways/ mental health and physical wellbeing.
 - Tackling persistent Anti-Social Behaviour/repeat offenders/prevention and engagement.
 - Employability support, signposting, and referral.
 - Voluntary Sector capacity building e.g. volunteer succession planning and support.
 - Security food, fuel, clothes, transport, and winter resilience.
 - Mental Health e.g. access and increase cost of living crisis.
 - Rural transport/access to services and essentials in remote and rural areas.

- Childcare provision and access to employment.
- Business engagement, networks and support / town centre and rural settlement regeneration.
- Meeting the needs of the growing older population in larger and smaller settlements and in very rural areas.
- Communication awareness of service providers, services, and projects; communication modes and reach.
- In terms of local scrutiny and reporting, in the interim period between the close-down of the Locality Plans and the introduction of a Place Plan framework in Banff and Buchan, partner updates on priorities and projects carried forward from the outgoing Locality Plans will continue to be monitored via the Banff and Buchan Local Community Planning Group. Following submission of the Locality Plan close out reports to the CPP in March 2024, and until such time as Place Plans are established in Banff and Buchan, Locality Plan priorities earmarked for continuation will be temporarily incorporated into the ongoing Banff and Buchan Community Plan and reported in future updates to the Banff and Buchan Area Committee.
- 3.9 Similarly, projects and activities continued from the outgoing regeneration strategy: 'Developing Excellence in our North Coast Communities for Banff, Macduff and Fraserburgh', where relevant will be incorporated into the ongoing Banff and Buchan Community Plan and reported in future updates to the Banff and Buchan Area Committee.
- 3.10 Work is underway to both embed a place-based approach into the focus and working arrangements of the Banff and Buchan Local Community Planning Group, which will include a stakeholder engagement and area profiling exercise to fully scope out and sense check place-based priorities and delivery frameworks for the Banff and Buchan area.
- 3.11 This work will include a critical reflection on partnership arrangements, priority setting, and evaluation mechanisms (determination of anticipated outputs, outcomes, and SMART (specific, measurable, achievable, relevant, and timebound) reporting, including learning from, and where relevant applying, place-based assessment approaches such as the Shaping Places for Wellbeing (Fraserburgh) programme.

4 Council Priorities, Implications and Risk

4.1 This report helps deliver the Strategic Priorities "Health and Wellbeing" within the Pillar "Our People", "Resilient Communities" within the Pillar "Our Environment" and "Economic Growth" within the Pillar "Our Economy".

- 4.2 This report helps deliver on the Local Outcomes Improvement Priorities Reducing Poverty and Health and Wellbeing (Mental Health, Healthy Eating Active Living).
- 4.3 The table below shows whether risks and implications apply if the recommendation(s) is (are) agreed.

Subject	Yes	No	N/A
Financial		X	
Staffing		X	
Equalities and Fairer Duty	[IIA attached as		
Scotland	Appendix 2]		
Children and Young People's	[IIA attached as		
Rights and Wellbeing	Appendix 2]		
Climate Change and		X	
Sustainability			
Health and Wellbeing	[IIA attached as		
	Appendix 2]		
Town Centre First	[IIA attached as		
	Appendix 2]		

- 4.4 An integrated impact assessment has been carried out as part of the development of the proposals set out above. It is included as Appendix 2 and there is a positive impact as follows
 - Equalities and Fairer Duty Scotland activity programmes for younger and older people and support for low-income families and individuals.
 - Children and Young People's Rights and Wellbeing positive impacts on health, achievement, nurturing and active via food growing projects, transition support, enabling engagement opportunities to shape services and delivery of activities programmes.
 - Health and Wellbeing delivery of projects that create opportunities for active participation, healthy eating, mental health and wellbeing warp around support and early interventions.
 - Town Centre First Projects to increase town centre footfall and business connections, increase public safety and enhance local social and cultural experiences.
- 4.5.1 The following Risks have been identified as relevant to this matter on a Corporate Level:
 - ACORP001 Budget Pressures in terms of being able to sustain and develop activities in response to ongoing and emerging needs. Mitigated through partnership working and identification of relevant funding sources.
 - ACORP005 Working with other organisations mitigated by regular engagement and knowledge sharing between delivery partners in terms of the operating environment and managing adaptations.
 - ACORP006 reputation management in terms of community expectations, mitigated through clear and sustained communications.

The registers can be viewed on the Council's website – (<u>Corporate Risk</u> <u>Register).</u>

No Risks have been identified as relevant to this matter on a Strategic Level. The register can be viewed on the Council's website - (<u>Strategic Risk Register</u>).

5 Scheme of Governance

- 5.1 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report and their comments are incorporated within the report and are satisfied that the report complies with the Scheme of Governance and relevant legislation.
- 5.2 The Committee is able to consider this item in terms of Section B.4.1b of the List of Committee Powers in Part 2A of the Scheme of Governance as it relates to commenting on the Banff and Buchan Community Plan.

LAURENCE FINDLAY DIRECTOR OF EDUCATION AND CHILDRENS SERVICES

Report prepared by: Elaine Sinclair, Community Planning Officer, Banff and

Buchan

Date: 27 February 2024

List of Appendices –

Appendix 1 – Banff and Buchan Community Plan 2022-2025 Progress Update

Appendix 2 – Integrated Impact Assessment (IIA)

	Appendix i Baim and Buenam Community i fair Opdate		
		ered Communities	
		anff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them	
Priority	Summarised action(s)	Outputs/Outcomes	
1.Support and build inclusive, resilient, and influential communities across Banff and Buchan	1.Inclusive engagement to bring people's lived experiences to inform partners' services design & delivery.	Online and in-person community consultations and engagement opportunities continue to be promoted across the Banff and Buchan area via targeted direct communications and general social media content by the Council's Area Team, council service partners, external local and strategic partners. Specific activities have included - • Young people are being been supported to have their say, impact on 'place' and shape local services via initiatives such as Banff town centre walkabouts with partners (supporting Banff Academy S1 pupils on their Doorstep Explorers walking routes website and launch); Community Learning and Development's (CLD) Deveron-centre based Early Intervention project targeted at disengaged pupils which offers activity experiences identified by participants and delivered in conjunction with local partners; and Aberdeen for a Fairer World and a Place in Childhood's work with Banff and Macduff primary and secondary pupils on place planning. • Aberdeenshire Council Tenant Participation roadshows have been undertaken to identify local issues and inform further engagement opportunities within communities. A Housing-led Estate walkabouts pilot is being progressed within Aberchirder to establish the needs of the community and to ascertain how Housing and partner agencies can assist, the intelligence from which is also informing Aberchirder and District Community Association's wider engagement to refresh their Community Action Plan. • More widely, place-based engagement has continued via Banffshire Partnership's work, funded through the Banff and Buchan Community Planning Group, to support community groups to gather lived experiences to inform the refresh of local Community Action Plans, with Portsoy, New Aberdour, Pennan and Tyrie and Rosehearty Community Councils and Aberchirder and District Community Association having either hosted or planning to host engagement programmes. • Working in partnership with the Councils Place Economy and Area Teams, Northeast Scotland Climate Action Network (NESCAN) secu	

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Priority	Summarised action(s)	Outputs/Outcomes
Continued/ Support and build inclusive, resilient, and influential communities across Banff and Buchan	Continued/ Inclusive engagement to bring people's lived experiences to inform partners' services design & delivery.	 Residents and businesses have had the opportunity to engage via the 2023/24 Banff and Macduff Two Towns Big Ideas project fund for community/business projects encouraging new temporary uses for vacant commercial properties and town-based events while Local Business Surveys in Banff and Macduff were undertaken in January 2024 via online, email, post, and social media to understand curren views of trading conditions. In Fraserburgh, the Place Economy Team have also supported the Town Centre Map Project; Delivered with Broch Businesses Together, the project's objective is to take tangible steps to increase town centre footfall, benefiting local businesses and the overall economy of Fraserburgh. This involves further enhancing the Fraserburgh map, originally funded by the Fraserburgh Development Partnership, and putting in place a targeted distribution plan. Partnership activities are also underway to enhance the content and maximise the reach of the Discover Fraserburgh website. This Shaping Places for Wellbeing Fraserburgh (SPfW) programme has enabled stakeholders from community and service settings to come together to share learning and identify impacts and opportunities as part of the SPfW assessments of the Fraserburgh Beachfront Master Plan and Fraserburgh Primary School merger proposal. The production of the Fraserburgh Beachfront Masterplan was also informed by a series of stakeholder engagement opportunities. In May 2023, the inaugural Fraserburgh (Sports Centre) and Banff and Macduff (Vinery and Banff Castle Wellbeing Festivals were held, securing a presence from local wellbeing service providers and businesses, and included opportunities for attendees to feedback on local health and wellbeing needs to shape future events and festival programmes. In Autumn 2023 and Early Spring 2024, Whole Family Wellbeing stakeholder engagement events were held in Fraserburgh to enable lived experience to shape the focus of the first two rounds of the Scottish Government funde

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		ered Communities anff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them
Priority	Summarised action(s)	Outputs/Outcomes
Continued/ Support and build inclusive, resilient, and influential communities across Banff and Buchan	Continued/ Inclusive engagement to bring people's lived experiences to inform partners' services design & delivery.	 In terms of lived experience around rural transport challenges and impacts, the Banffshire Partnership Dial-A-Bus service continues to engage service users to gather insights on rural transport challenges and this feedback has informed wider work to gather and report on lived experience in terms of rural transport challenges via the Banff and Buchan Community Planning Group, recently established Banff and Buchan Rural Transport informal working group and via Tackling Poverty and Inequalities colleagues. More generally, residents and partners have been encouraged to participate in related strategic transport consultations and Public Health colleagues commissioned a research project via the University of Aberdeen to explore how rural transport considerations feature in medical appointment setting in Wards 1 and 2 in 2023, recommendations are now being taken forward and the project's next phase will gather lived experience input from GP practice patients. Banff and Buchan Community Councils were represented at a Scottish Parliament Community Councils 50th year celebratory event in 2023 via a Community Council Forum member/representative from New Aberdour, Pennan and Tyrie Community Council, who fed in and fed back learning.
	2.Through forums we will maintain two- way communication and information flow with local community and business groups	 Two Community Council Forums were hosted in 2023, with the Forum topics co-designed by participants and showcasing Community Councils projects as well as providing advice and guidance and signposting from the Council's Area Team and guest contributors, including Aberdeenshire Voluntary Action (AVA) on capacity building support. In-person and online Bus Forum and transport consultation engagement opportunities continue to be promoted locally Fraserbugh continues to benefit from the Fraserburgh Resilience Group's network links with other services and partners on local initiatives including defibrillator provision and maintenance. AVA continued to host regular sessions of their third sector thematic forums to enable knowledge exchange and signposting, e.g. social enterprise, children & families.

support of the Academy's S1-S6 project-based learning and other initiatives.

• Banff Academy Powerful Partnerships Group – this network group continues to meet regularly and has built up its membership to strengthen existing and establish new business and community connections in

Outcome 1. Stronger, Empowered Communities
Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them

Summarised	Outputs/Outcomes
action(s)	
	 The North Public Health Team continued to build up and consolidate Conversation Cafes, encouraging supportive opportunities for participants to learn and share on mental health and physical wellbeing topics. The North Public Health Team, as part of the Confidence to Cook initiative, have also established a new Confidence to Cook Trainer's Forum for Banff and Buchan, to share learning and good practice. The Shaping Places for Wellbeing Fraserburgh programme's Community Link worker has enabled the introduction of a new Community Champions network, bringing representatives from local communities and frontline service providers to identify local needs, share learning and new partnership opportunities. A recent Place Economy Team Local Business Survey in Banff and Macduff has canvassed local views on setting up a local business forum/group and will report in March 2024.
3.Where there are gaps in local provision promote opportunities for people to volunteer & offer support to access learning and development.	AVA continue to promote volunteering opportunities via their website, social media, newsletter, and in partnership with Volunteer Scotland, and have recorded 2,363 Interactions since April 2021 - 1,078 of which have been since April 2023 including volunteering enquiries.
	The Vinery - supported by the Foyer in partnership with local providers and community groups, and serving Banff, Macduff, and adjacent areas, and provides opportunities for people to try new things, develop confidence, learn new life skills, and broaden their experiences in a welcoming and accessible facility to help alleviate the impact of poverty and support individuals by working alongside them to attain and sustain employment. In its first year of operation (to June 2023), the Vinery had created 30 volunteer opportunities (from 16 to 70+ years) and amassed 2,000 volunteering hours .
	SFRS are participating in the MCR Pathways / Banff Academy mentoring scheme and have also developed a Fire skills and youth volunteer scheme , ran in conjunction with Fraserburgh Academy and FraserDeen in Fraserburgh, and are in the process of being rolled out and made available to young people throughout Banff and Buchan.
	Supported via the Banff and Buchan Area Team –
	3.Where there are gaps in local provision promote opportunities for people to volunteer & offer support to access learning and

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	Outcome 1. Stronger, Empowered Communities Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them		
Priority	Summarised	Outputs/Outcomes	
,	action(s)		
Continued/ Support and build inclusive, resilient, and influential communities across Banff and Buchan	Continued/ Where there are gaps in local provision promote opportunities for people to volunteer & offer support to access learning and development	 The Banff and Buchan Growing project, via the Area Project officer, has teamed up with local partners to promote local growing sites and volunteer opportunities through a media campaign in February/March 2024. This has included an intergenerational element – with young people from both Banff and Fraserburgh Academies stepping forward to volunteer - and led to multi-organisation inputs, with local service partners, schools, care home staff and community groups engaging. Additionally, in Fraserburgh the resettlement team are also engaged supporting new Scots to have expressed an interest in volunteering with local growing projects. Community Councils, Groups and Associations continue to be supported on governance, volunteer recruitment and retention and in being signposted to learning opportunities locally and nationally, both online and in-person Promotion of ALISS (A Local Information System for Scotland) locally via and to partners and community groups via events and campaigns. 	
2.Support communities to identify their aspirations and develop a vision for their community	1.Provide advice & support to groups around community empowerment 2.Support communities to develop local Place Plans.	AVA continue to provide support to community groups on a range of issues (recording 2,363 Interactions since April 2021, of which 1,078 have been since April 2023) including Information and Advice ; Third Sector Representation; Community Volunteering Enterprise; Mind-Yer-Mind Initiative; Children & Families AVA Forum & Network Support; Organisational Governance & Compliance; Volunteering; Office & Payroll Service; Training; Social Enterprise Network Support; Business Planning; Community Asset Transfers and Funding. AVA have also administered the Just Transition and Communities Mental Health and Wellbeing Fund for Adults Participatory Budgeting and Funds, which in the latest rounds awards made to the Vinery, Books Abroad, Fraserburgh South Links Trust, Friends of Tarlair and Friends of People First Fraserburgh.	

Outcome 1. Stronger, Empowered Communities		
Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them		
Priority	Summarised	Outputs/Outcomes
	action(s)	
Continued/ communities to identify their aspirations and develop a vision for their community	3.Support communities with funding advice and sustainable projects	Consultation and information sessions, alongside signposted information, advice, and guidance has continued to be offered and circulated via Aberdeenshire Council's Planning and Economy Team and reinforced via the Banff and Buchan Area Team to encourage local groups to explore spatial considerations and the potential of developing Local Place Plans , either as standalone documents or incorporated within refreshed Community Action Plans. Alongside AVA, and the Banffshire Partnership's support for groups to develop Community Action Plans, the Banff and Buchan Area Team continue to engage closely with local community councils and many groups and charities to provide support on empowerment and capacity building, including asset transfer. The Area Team also administered funding support in 2023 from several area-based funding streams, including the Aberdeenshire Charities Trust Funding (£1k); Area Initiative Fund (£66,257); Community Resilience Fund (£3,819.2); Coastal Communities Fund (£58,702.50); Community Council Administration Grants (£5,362.26); Food Growing (£5,051.00); Town and Villages Amenity Fund (£10,600).
		The Banff and Buchan Area Team continue to aid groups on a needs-led basis in terms of specific group needs and more generally in terms of sharing good practice and information via the monthly Community Planning e-bulletin and Banff and Macduff and Fraserburgh Community Planning Facebook pages .

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Outcome 1. Stronger, Empowered Communities Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them			
Priority	Summarised action(s)	Outputs/Outcomes	
Continued/ Develop initiatives to improve life chances of vulnerable people in our communities.	•	 The Vinery - supported by the Foyer in partnership with local providers and community groups, and serving Banff, Macduff, and adjacent areas, provides opportunities for people to try new things, develop confidence, learn new life skills, and broaden their experiences in a welcoming and accessible facility to help alleviate the impact of poverty and support individuals by working alongside them to attain and sustain employment. In its first year of operation (to June 2023), the Vinery had created 30 volunteer opportunities (from 16 to 70+ years), amassed 2,000 volunteering hours, 11 additional local jobs, delivered skills academies and work experience for over 60 local people, monthly footfall over 500, 20 sessions per week averaging 120 participants, 15 active groups, served up to 60 meals a week and welcomed over 1,600 visitors in the first quarter of 2023 alone and supported 129 families to access a range of services and employability opportunities. The Vinery has a Digital Skills Coach and has had a Financial Inclusion worker to provide financial health checks, assist with applications to grants and benefits and to support with budgeting skills training. Banff and Macduff Community Hub Partnership Outreach, facilitated by Aberdeenshire Council Employability Team and the Vinery, the Banff and Macduff community hub brings a wide range of welfare and employability partners together to plan for joint projects and outreach work, including fortnightly drop-in events hosted at Banff Library. CLD have been working with the Aberchirder Men's Shed to support ICT upskilling and have also recently commenced a similar ICT project with the Macduff Men's Shed. CLD are also — Supporting young people with flexible learning pathways at Fraserburgh Academy progressing towards achieving alternative accreditation options. delivering an Early Intervention project running out of the Deveron Centre, Banff, targeted at disruptive or disengaged pupils with a view to pos	

Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them

Outcome 1. Stronger, Empowered Communities

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Outcome 1.	Stronger, Empow	ered Communities
Successful, in	nclusive, resilient B	anff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them
Priority	Summarised	Outputs/Outcomes

Priority	Summarised	Outputs/Outcomes	
	action(s)		
		given and flagging inaccurate estimates. The work formed part of a holistic approach to tackling fuel poverty, where food parcels were also distributed.	
Continued/ Develop initiatives to improve life		 The North Public Health Team oversaw the distribution of Worrying About Money leaflets and delivered associated Cost of Living session (2023 – 2 session 9 participants) and Worrying about Money sessions (2023 - 7 sessions, 82 participants). 	
chances of vulnerable	4. Support food related	The focus has been on community food accessibility, growing and cooking projects, including -	
people in our communities.	initiatives to increase access	 Banff and Buchan Area Team Food Growing Project - Pilot instigated Autumn 2023, creating gardens in grounds of 	
	to local food sources	 Fraserburgh - Lochpots, St Andrews, Southpark and Rathen Primary Schools as well as Jarvis Court and Faithlie Care home. 	
	5. Encourage primary schools in Banff & Buchan to link	 Banff and Macduff - (Macduff Primary) as well as Doo'cot View care home Food Growing Agreements in place for each setting. Aberdeenshire Council's Landscaping Team working on mapping other more widely available sites across B&B. 	
	growing initiatives to community-led projects	 The Vinery, Banff delivered up to 60 meals a week in its first year of operation, as well as delivering learning and confidence building experiences in growing and affordable cooking onsite, alongside confidence to cook classes. 	
		 In partnership with One Seed Forward, the North public Health team have delivered a 12-week outdoor growing lessons project at North School, Fraserburgh. The team have also supported the delivery of Confidence to Cook opportunities - 2023 saw an additional 9 trainers trained, 1 refresher course, an updated resource directory, a Trainer's forum established, and 3 blocks delivered in Banff and Buchan and a new delivery facility under development at the Boyndie Centre, in conjunction with the Banffshire Partnership (activities will support the promotion of Confidence to Cook activities initially with young families with pre-school age children, with next priority group being over 65s). The team continue to 	

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Successful, inclusive, resilient Banff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them

Priority	Summarised action(s)	Outputs/Outcomes
Continued/ Develop initiatives to improve life chances of vulnerable		 maintain an up-to date <u>Fraserburgh and District Food Map</u>, to support access to food for members of the public and provide a useful signposting tool for partners and their clients, who may be experiencing a variety of financial difficulties. Fraserburgh Community Council's Resilience Group Food larder opened in 2021. Supported by over 20 volunteers, the foodbank is supporting over 70 members, helping individuals/families transition away from a reliance on foodbanks.
people in our communities.	6. Provide information and support to people on how to protect themselves to avoid scams	 Police Scotland & Trading Standards' advice on how to combat fraudsters & various other scams/warnings to be vigilant continued to be shared via networks. Additionally, Police Scotland - undertook community engagement within Sheltered Housing complexes to help prevent vulnerable persons being targeted for financial gain, this included leaflet drops and presentations, as well as inputs to staff and elderly and vulnerable to give crime prevention advice. Delivered Partnership Days of Action alongside Aberdeenshire Council Community Safety and the Health and Social Care Partnership, Housing, CJSW and PSOS to drive down stigma of substance misuse, make it easier for people to access services and to tackle organised crime and to assist victims of cuckooing and related activities. Undertook "Cuckooing Visits" regularly with Substance Misuse Partners to vulnerable persons in the community who are or could be the target of drug dealers taking over their homes to deal drugs. engaged with pupils via site visits at both Academies and some of the local primary schools to give inputs on online and social media safety. Along with SFRS representatives, had a continued presence at the Fraserburgh Blue Light Festival and the inaugural Blue Light Gala at Banff Castle in August 2023, to provide advice and support to visitors.

		ered Communities anff and Buchan communities with the confidence, capability, and capacity to tackle the things that matter to them Outputs/Outcomes
4.Develop initiatives that encourage	1.Develop more community-based projects and social	The Banff and Buchan Area Team continue to provide support and guidance on exploratory discussions on several asset transfer proposals across the Banff and Buchan and administered community project funding support in 2023 from several area-based funding streams (as described in 1.2.3 above).
people to support our towns and villages	enterprises	The 2023/24 Banff and Macduff Two Towns Big Ideas project fund for community/business projects has encouraged ideas and project proposals for new temporary uses for vacant commercial properties and town-based events.
Villagoo		Construction work is progressing on the community-led (Friends of Tarlair) re-development of the Tarlair outdoor swimming complex Pavilion in Macduff.
	2.Explore how to develop a Banff & Buchan (Food) Growing Plan, aligned with Aberdeenshire' s Food Growing Strategy and Food Plan	In line with the Food Growing project activity underway on multiple sites across Banff and Buchan and Public Health enabled Confidence to Cook activities (as outlined in 1.3.1 above), Initial discussions have been held with local partners to explore the aim of developing a Banff and Buchan Food Plan/Forum , to pull together current activity strands for better impact and reach.
	3.Deliver local initiatives to encourage people to buy locally	77 local businesses (physical and online) across Banff and Buchan have signed up to accept payments from the Aberdeenshire Gift Card scheme, with onsite promotions including Farmers Markets and Christmas events and online during the associated Winter 2023 Aberdeenshire towns marketing campaign, which encouraged the "shop local" message in Banff and Macduff and Fraserburgh (1,525,707 social media impressions/190,507 reach).

Outcome 2 Healthier, Active Communities			
Reduce inequalities in health outcomes and help people in Banff & Buchan lead longer, healthier and active lives			
Priority	Summarised	Outputs/Outcomes	
	action(s)		
2.Create more opportunities for people to participate and live active lives Supporting	1.Promote and signpost people to Live Life Outdoors, Live Life Well to support healthy active lifestyles	In addition to the work ongoing to support the delivery and enhancement of the Coastal Path network (as outlined in 2.2.1 below), Community-led and partner supported immersive and health related walking groups continue to operate in the Banff and Buchan area including SFRS continued support of the Aberchirder and District Community Association ' Paths for All' Walking Group , with SFRS providing facilities (fire station) and a walking leader with a view to reducing social isolation and improving health and wellbeing.	
and building inclusive, resilient, and influential communities across Banff and Buchan	2.Support projects to reduce social isolation & loneliness that can be experienced at any age	 Work is underway to relaunch the Mind Yer Mind campaign locally, with resources and promotions supported by the Banff and Buchan Community Planning Partnership. Conversation Cafes continue to be held and promoted by North Public Health team, encouraging supportive opportunities to learn and share on mental health and physical wellbeing topics. Working in partnership with AVA and with the Banff and Buchan Area Team and wider partners, Warm Spaces continue to be operated via partners or community groups during winter months, with partners looking at all year round need and drawing learning from recent experience to determine the best approach. SFRS regular open house "Brew with a crew" wellbeing events with partners also in attendance. 	
	3. Maximise community green space (part of a Grow Banff & Buchan strategy)	Addressed via 1.3.4, 1.3.5 and 1.4.3 above.	

Outcome 2 Healthier, Active Communities				
Reduce inequalities in health outcomes and help people in Banff & Buchan lead longer, healthier and active lives				
Priority	Summarised	Outputs/Outcomes		
	action(s)			
Continued/	4.Collaborate	Banff and Buchan Area Team continue to work with partners to provide ongoing support to Fraserburgh South		
Create more	with the	Links Sports Development Trust to scope out a proposal for a Feasibility Study for the whole site area, enabled		
opportunities	Scotland	via UK Shared Prosperity Fund consultancy provision, which will include review of footfall and service demands		
for people to	Sports	and trend for football, tennis provision along with consideration of potential pricing policy and digital and/or site-		
participate	Initiative -	based process to enable bookings and payments.		
and live	Sports			
active lives	hub/networks			
Supporting	to identify			
and building	current gaps in			
inclusive,	choice of			
resilient, and	sports for all			
influential				
communities				
across Banff				
and Buchan				

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Outcome 3. Connected Communities Ensure safe, accessible travel and improved connectivity across our communities				
Priority Priority	Summarised action(s)	Outputs/Outcomes		
1.Support transport solutions for people to	1.Work with service providers to explore	The Banffshire Partnership Dial-A-Bus service is currently supporting around 13,000 journeys annually, 50% higher than pre-covid levels and continues to deal with a sustained , high demand for bus shopping service s, including for longer journeys enabling access to larger discount stores for non-food items.		
improve access to health or wellbeing activities.	possible community- based transport solutions for our rural communities to access health or wellbeing activities	As part of work to understand challenges around barriers to accessing services from rural localities, scoping discussions continue to be held with Banffshire Partnership, NESTRANS, Public Health, and Tackling Poverty and Inequalities partners via they Aberdeenshire Council Area Team; tackling rural transport challenges remains a priority for the wider Banff and Buchan area for 24/25, with a newly established Banff and Buchan Informal Working Group in place that will feed into Aberdeenshire and Regional transport planning initiatives. A Public Health North Team commissioned University of Aberdeen to undertake a research project in 2023 to collate information and evidence related to the scale and scope of challenges experienced by residents in Ward 1 (Banff and District) and Ward 2 (Troup) in accessing medical appointments due to rural transport challenges. Involving a review of appointment setting processes, five recommendations are now being taken forward by public health in conjunction with relevant partners, alongside an informal working group recently established to both progress further data collation and develop proposals to mitigate transport challenges.		
2.Develop with communities more safe, active travel options	1.Support communities to develop path projects as part of the current Coastal Path Project in the North	 Pathway connections and enhancement activities include – Early preparatory and engagement work and survey on path from Banff Bridge to Tarlair. First Stakeholder event was held in November 2023, with a full consultation planned for March 2024. Surveying and preparatory work by Environment & Planning Paths Co-ordinator underway on Whitehills-Banff stretch of path. Initial Stakeholder engagement was held in February 2024 with full consultation planned for March 2024. Portsoy Community Enterprise Company are leading on the development of paths to east and west of the community, merging in Portsoy, aligned with the Town Path currently being delivered by Portsoy & District Comm Council. Invercairn Community Council are progressing path network to Fraserburgh. Work on the Fraserburgh Coastal Path has been delayed due to landslips at Broadsea. 	Page 208	

riority	Summarised	Outputs/Outcomes
	action(s) 2.Encourage	In addition to works related to walking groups (described in 2.2.1 above) and coastal path improvements
	participation	(described in 3.2.1 above) –
	active travel	
	(walking, cycling)	 Aberdeenshire Council sought views from the public and special interest groups on options developed for a new "active travel" (pedestrians and cyclists) bridge crossing the River Deveron between Banff and Macduff. Previous work has identified a new pedestrian, cycling and wheeling crossing as a solution to many of the issues currently faced by people travelling between Banff and Macduff not in a car or other motor vehicle. The results were collated, and the preferred option identified. Funding is currently being secured to carry forward the preferred design option into a detailed design/technical design stage.
	Continued/	 The Place Economy Team have Supported Banff & Macduff Heritage Trail Website maintenance alongside community groups, with regular local history feature updates.
Continued/ Develop with	Encourage participation	- Engaged in Town centre engagement walkabouts with Banff Academy S1 pupils on their Doorstep
communities more safe, active travel	active travel (walking, cycling)	 Explorers walking routes website and launch. Signposted new and existing tourism related businesses to Visit Aberdeenshire for free marketing and access to training events and webinars.
options.	, 3,	
3.Develop projects to	1.Support development	CLD have been working with the Aberchirder Men's Shed to support ICT upskilling and have also recently commenced a similar ICT project with the Macduff Men's Shed.
essen the	of projects to	
igital divide Support	digitally upskill older people	
nitiatives for	experiencing	
eople to	social	
mprove their	isolation/	
own health	vulnerability	

Outcome 3. Connected Communities				
Ensure safe, accessible travel and improved connectivity across our communities				
Priority	Summarised	Outputs/Outcomes		
	action(s)			
and lifestyle	2.Ensure	Activities outlined throughout this report (and specifically in 1.3.3 above) are signposted via referring partners, in		
choices to	communities	hard copy through leaflets and posters and via social media, e-bulletins and general and targeted network		
live healthier	are well	mailings via partners and the Banff and Buchan Area team. Online/digital based support services are provided by		
lives	informed	local partners via established and evolving intervention programmes.		
	around			
	initiatives to			
	ensure digital			
	solutions			
	support all			
	activities and			
	is available			
	everywhere.			

Aberdeenshire Council

Integrated Impact Assessment

BANFF AND BUCHAN COMMUNITY PLAN ACTION PLAN 2022-2025 – MONITORING REPORT AND INTEGRATION OF ACTIVITIES FROM OUTGOING LOCALITY PLANS

Assessment ID	IIA-002046
Lead Author	ELAINE SINCLAIR
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Service Reviewers	Angela Keith
Subject Matter Experts	Suzanne Rhind, Susan Forbes, Kakuen Mo, Caroline Hastings, Annette Johnston, Christine McLennan
Approved By	Angela Keith
Approved On	Tuesday March 05, 2024
Publication Date	Tuesday March 05, 2024

1. Overview

This document has been generated from information entered into the Integrated Impact Assessment system.

This IIA is for the progress of actions in the Banff and Buchan Community Plan 2020-2025, and the incorporation and alignment of priorities and activities to be carried forward from the outgoing Banff and Macduff Locality Plan and Fraserburgh Locality Plan, as part of the phased transition to place plans in Banff and Buchan.

During screening 7 of 10 questions indicated that detailed assessments were required, the screening questions and their answers are listed in the next section. This led to 4 out of 5 detailed impact assessments being completed. The assessments required are:

- Childrens' Rights and Wellbeing
- Equalities and Fairer Scotland Duty
- Health Inequalities
- Town Centres First

In total there are 24 positive impacts as part of this activity. There are 0 negative impacts, all impacts have been mitigated.

A detailed action plan with 1 points has been provided.

This assessment has been approved by angela.keith@aberdeenshire.gov.uk.

The remainder of this document sets out the details of all completed impact assessments.

2. Screening

Could your activity / proposal / policy cause an impact in one (or more) of the Yes identified town centres? Would this activity / proposal / policy have consequences for the health and Yes wellbeing of the population in the affected communities? Does the activity / proposal / policy have the potential to affect greenhouse gas No emissions (CO2e) in the Council or community and / or the procurement, use or disposal of physical resources? Does the activity / proposal / policy have the potential to affect the resilience to No extreme weather events and/or a changing climate of Aberdeenshire Council or community? Does the activity / proposal / policy have the potential to affect the No environment, wildlife or biodiversity? Does the activity / proposal / policy have an impact on people and / or groups Yes with protected characteristics? Is this activity / proposal / policy of strategic importance for the council? Yes Does this activity / proposal / policy impact on inequality of outcome? Yes Does this activity / proposal / policy have an impact on children / young Yes people's rights? Does this activity / proposal / policy have an impact on children / young Yes people's wellbeing?

3. Impact Assessments

Children's Rights and Wellbeing	No Negative Impacts Identified
Climate Change and Sustainability	Not Required
Equalities and Fairer Scotland Duty	No Negative Impacts Identified
Health Inequalities	No Negative Impacts Identified
Town Centre's First	No Negative Impacts Identified

4. Childrens' Rights and Wellbeing Impact Assessment

4.1. Wellbeing Indicators

Indicator	Positive	Neutral	Negative	Unknown
Safe		Yes		
Healthy	Yes			
Achieving	Yes			
Nurtured	Yes			
Active	Yes			
Respected	Yes			
Responsible		Yes		
Included	Yes			

4.2. Rights Indicators

UNCRC Indicators	Article 2 - Non-discrimination
upheld by this activity /	Article 3 - Best interests of the child
proposal / policy	Article 12 - Respect for the views of the child
	Article 18 - Parental responsibilities and state assistance
	Article 23 - Children with disabilities
	Article 27 - Adequate standard of living
	Article 28 - Right to education
	Article 31 - Leisure, play and culture
	Article 33 - Drug abuse

4.3. Positive Impacts

Impact Area	Impact
Achieving	Partners working with young people during key transition areas of their life through a range of employability programmes increases skills and confidence for their future pathways.
Active	Through working with local partners a range of activities continue to be developed, informed by children and young people to improve their health & wellbeing ensuring they can participate in an active lifestyle.
Healthy	Partnership projects enabling access to food and upskilling relating to access to, growing, preparation and cooking of fresh food/meals, uptake of free school meals, diversionary activities in indoor and outdoor settings.
Included	Working with marginalised groups and via community champions to include young people in priority groups affected by poverty and those with protected characteristics are not further marginalised, drawing on the lived experience network to ensure those who feel marginalised are represented and are informing services and practice.

Impact Area	Impact
Nurtured	Enabling children and young people to feel included as part of their community. Embedding informed practice and developing services and policy through Rights Based Approach.
Respected	Ensuring children and young people are enabled to participate and that their rights are upheld. Recognising the importance of the voice of children and young people in decisions being made that impact on them.

4.4. Evidence

Туре	Source	It says?	It Means?
External Consultation	Young Scot	Consultation by Young Scot (virtually) with Academy students	Participants fed back on the type of local activities they would like to see in their community.
External Consultation	Community Impact Assessment	The Community Impact Assessment highlighted consistent with the previous survey included concerns about future employment, education and training, personal finances, mental and physical wellbeing.	The personal experiences of individuals and families could be captured to inform the development of actions and strategies to be added to the plans to improve life choices and wellbeing.
External Data	Understanding the Impact of COVID-19 on Children, Young People and Families in Grampian.	The evidence says: Detailed emerging issues identified in Grampian such as: slow recovery of some service provision and young people feeling anxiety and an uncertain future regards employment/ further education.	This relates to improving outcomes for young people and supporting people into employment.
External Data	Evidence Source The Poverty – Related Attainment Gap - A review of the evidence Feb 2021	The evidence says: It details the negative impacts of the pandemic on the educational outcomes for children and young people from deprived areas due to digital divide & lack of access to educational related resources. Also details those most affected by poverty-related gap during school years, and the need for more support and advice for specific groups of disadvantaged young people into work.	This will be relevant to the proposed outcomes in relation to improved outcomes for children and young people, support for digital inclusion, and support into employment.

Туре	Source	It says?	It Means?
External Consultation	Aberdeen for a Fairer World/A Place in Childhood Pupil Engagement Project, Banff Academy 2023- ongoing	Pupil led place planning exercise to enable engagement with young people to gather their views on town centre strengths, gaps and improvements areas in relation to the needs of young people	Participants have and continue to feed back and present to partners on the type of local activities, venues and services they would like to see in their local town centres to inform future iterations of community and place plans.
Other Evidence	Lived Experience Forum and Network	The voice of lived experience embedded across the work of TP&I and it's partners and in shaping the next iteration of Community/Place Plans.	Those with lived experience can highlight areas of improvement, inform and coproduce service redesign, policy and practice.

4.5. Information Gaps

Three place-based engagement exercises directly involving young people leading the discussion are currently underway in the Banff, Macduff and adjacent areas, whilst no similar exercises are underway in Fraserburgh/East Banff and Buchan area.

4.6. Measures to fill Information Gaps

Measure	Timescale
Efforts will be made to work with partners to replicate/tailor young people focussed place planning activities in the Fraserburgh/East area of the Banff and Buchan area.	2024

4.7. Accounting for the Views of Children and Young People

Children's views were incorporated into shaping the original Locality Plans and interim iterations via ACLD and other partner engagement activities. The Community Plan was developed by a range of Partners including those working with young people and thus reflects the views of young people as understood by those Partner Organisations

4.8. Promoting the Wellbeing of Children and Young People

The carry forward of key priorities and projects, including young persons engagement activities around place planning, will ensure the lived experience of young people will continue to shape the transition to place planning in Banff and Buchan

4.9. Upholding Children and Young People's Rights

The Community Plan contains specific priorities which address some of the poorer outcomes experienced by young people in Banff and Buchan

4.10. Overall Outcome

No Negative Impacts Identified.

Children's and Young People's Rights & Wellbeing implications closely aligned with the priorities of the Banff and Buchan Community Plan and in improving outcomes for those children and young people resident in the area and the implications will inform the next iteration of community



5. Equalities and Fairer Scotland Duty Impact Assessment

5.1. Protected Groups

Indicator	Positive	Neutral	Negative	Unknown
Age (Younger)	Yes			
Age (Older)	Yes			
Disability	Yes			
Race	Yes			
Religion or Belief		Yes		
Sex		Yes		
Pregnancy and Maternity		Yes		
Sexual Orientation		Yes		
Gender Reassignment		Yes		
Marriage or Civil Partnership		Yes		

5.2. Socio-economic Groups

Indicator	Positive	Neutral	Negative	Unknown
Low income	Yes			
Low wealth	Yes			
Material deprivation	Yes			
Area deprivation	Yes			
Socioeconomic background	Yes			

5.3. Positive Impacts

Impact Area	Impact
Age (Older)	Actions to increase opportunities and access to services ensuring improved outcomes. Through increasing opportunities and access to services to individuals who are living in low-income households ensuring improved outcomes. Engagement activity through established and project specific groups to ensure lived experience shapes future iterations of community/place plans.
Age (Younger)	Partners' activity encompasses programmes developed and delivered to young people, including supporting transitions to work and support for physical and mental wellbeing. Partners engaging with priority families undertake projects using a rights based, person-led approach.
Disability	Local partners support people with disabilities to improve the quality of their life and improve their life chances through welfare support, learning and confidence building.

Impact Area	Impact
Race	Partners' activities support and self esteem through person centred programmes, and can help individuals and communities tackle discrimination, and support the promotion of rights, equalities and equity. Community consultation and advice guidance made available in other languages to outreach to individuals in our communities.
Area deprivation	Through increasing opportunities and access to services for those families that have low income, high living costs and limited employment. People living in poverty or at risk of living in poverty will experience a reduction of stigma from accessing services and opportunities which will improve their outcomes.
Low income	Work in partnership to increase opportunities and access to services for those families that have low income, high living costs and limited employment. Increased household income for those living in poverty and at highest risk of poverty through benefit up-take and income maximisation.
Low wealth	Partnership projects to help alleviate low wealth via income maximisation projects signposting and advice and guidance. To be developed further via the next iteration of Community Plans/place plans.
Material deprivation	Supporting and delivering actions that provide opportunities and access to services for those new and long term families that have low income, high living costs and limited employment. Increased access to services will close the inequalities gap and support improved quality of life.
Socioeconomic background	Through increasing opportunities and access to services for those families that have low income, high living costs and limited employment. Support actions that relate to those living in poverty and experience inequalities to ensure services and opportunities are accessible, where and when required.

5.4. Evidence

Туре	Source	It says?	It Means?
External Consultation	Community Impact Assessments	Identified the impact of COVID and gave information on how communities felt about services and what improvements they would make. It also identified areas that require higher levels of support.	Experiences of people across area during the pandemic captured in the process which helps inform the evolution of activities under the umbrella of the Locality Plans, partnership hubs and project networks and via the focus of partnership working via the Banff and Buchan Local Community Planning Group.

Туре	Source	It says?	It Means?
Internal Data	Various - SIMD; NHS data; DWP; Scottish Government Poverty Data; Universal Credit claims; Welfare support enquiries/service uptake	Steady increase in benefit claimants, numbers using foodbanks/community outlets and seeking crisis and or wider welfare and financial support and health checks.	Data supplied is used to identify gaps, highlight good practice, and ensure existing resources are used more effectively. Not all data is available at a ward level therefore localised data explored where available or potentially available. The steady increase in demand on benefit payments and welfare support indicated an increase in households who are living in poverty or require additional financial support.

5.5. Engagement with affected groups

Local voices on lived experience forums which are asked on a range of topics/issues/services.

5.6. Ensuring engagement with protected groups

Working through partners directly engaging as intermediaries to gather feedback on needs and gaps to shape priorities and partnership projects. Engagement by partners with individuals, community groups, third sector organisations, community representatives through surveys, ward forums, community councils, workshops, mini publics, place standard consultations. Working through partners directly engaging as intermediaries to gather feedback on needs and gaps to shape priorities and partnership projects. Engagement by partners with individuals, community groups, third sector organisations, community representatives through surveys, ward forums, community councils, workshops, mini publics, place standard consultations.

5.7. Evidence of engagement

Community Impact Assessments (CIAs); Place Standard Exercises; CLD Engagement; Schools Engagement; Lived experience network; Joint Area Meetings; Partners' service evaluations and client feedback.

5.8. Overall Outcome

No Negative Impacts Identified.

The aim of the Banff and Buchan Community Plan is to achieve positive improvements to people's lives over its duration and help make communities more connected and cohesive, this will remain the focus of the next iteration of Banff and Buchan Community/Emerging place plans.

5.9. Improving Relations

Ensure that the voice of lived experience continues to reflect target groups; continue to build on the partnership work which has been developed around this area;

5.10. Opportunities of Equality

Report on progress via the Banff and Buchan Community Planning Group and former Connected and Cohesive Communities Strategic group, moving forward transitioning to place plans, continuing to report to the Banff and Buchan Community Planning Group and where relevant, Area Committee. Through identifying and addressing the barriers faced by those who are at risk of exclusion should result in a reduction of inequalities.

6. Health Inequalities Impact Assessment

6.1. Health Behaviours

Indicator	Positive	Neutral	Negative	Unknown
Healthy eating	Yes			
Exercise and physical activity	Yes			
Substance use - tobacco		Yes		
Substance use - alcohol	Yes			
Substance use - drugs	Yes			
Mental health	Yes			

6.2. Positive Impacts

Impact Area	Impact
Exercise and physical activity	Partners' activities can contribute to positive attitudes to health and wellbeing and a recognition of the value and positive impact of exercise and physical activity on positive physical and mental health. Activities include exercise and physical activity indoors and outdoors for individuals and families.
Healthy eating	Healthy eating: Throughout and since the Covid-19 pandemic there has been a partnership focus on the accessibility and availability of food at strategic level and at local settlement level. Supporting the CPP HEAL priority and in line with Fair Food Aberdeenshire, within the strategy, the vision for Aberdeenshire is: - ensure equity of access to good quality low cost healthy food across the Shire - ensure the rural economy support and value a local food sector which creates skilled sustainable development - ensure people have the opportunity to develop and share skilled sustainable development - ensure people have opportunity to develop and share skills around growing, cooking and the impact food has on Health & Wellbeing.
Mental health	Actions within the Plan will help support the delivery of a range of mental health supports available for children, young people, families, adults and older people locally.
Substance use – alcohol	Through a partnership approach develop actions that will support the reduction of alcohol locally. Raise awareness about the consequences of alcohol abuse through community engagement exercises.
Substance use - drugs	Partners' activities supports learning about the effects and impacts of drug use on individuals, families and communities. It encourages the application of strategies and techniques to make better, more informed life choices and support the development of collective and collaborative action in communities to tackle the negative impacts of problematic drug use on communities and provide support to individuals and families adversely affected by drug use.

6.3. Evidence

Туре	Source	It says?	It Means?
External Consultation	Community Impact Assessments	Identified the impact of COVID and gave information on how communities felt about services and what improvements they would make. It also identified areas that require higher levels of support.	Experiences of people across area during the pandemic captured in the process which helps inform the evolution of activities under the umbrella of the Locality Plans, partnership hubs and project networks and via the focus of partnership working via the Banff and Buchan Local Community Planning Group. The evidence means: It highlights areas of improvement for services and identify areas where investment should be made.
External Data	Various - SIMD; NHS; DWP; Scottish Government; Consultation with partners and groups of third sector organisations, community organisations - partner' partnerships and service users	Broad agreement with the Locality plans' priorities and projects and the importance of overcoming barriers/ addressing health inequalities	Data supplied is used to identify gaps, highlight good practice. Broad agreement the Locality Plans' priorities address community concerns.

6.4. Overall Outcome

No Negative Impacts Identified.

Through partnership working with NHS Grampian Public Health Team, Health and Social Care Partnership, Live Life Aberdeenshire partners and other partners and health and wellbeing champions, the Banff and Buchan Community Plan supports the delivery of activities for all age groups. For younger people linking to holiday programmes and active schools activities. For older people mental and physical wellbeing activities. As well as working with partners to deliver on the Aberdeenshire Food Strategy through the Healthy Eating Active Living strand of the Health and Wellbeing LOIP priority. Partnership working will be further consolidated on the health and wellbeing agenda for the next iteration of Banff and Buchan Community Plans/Place Plans.

7. Town Centre's First Impact Assessment

7.1. Local Factors

Indicator	Positive	Neutral	Negative	Unknown
Town centre assets		Yes		
Footfall	Yes			
Changes to road layouts		Yes		
Parking		Yes		
Infrastructure changes		Yes		
Aesthetics of the town centre		Yes		
Tourism		Yes		
Public safety	Yes			
Town centre business	Yes			
Cultural heritage and identity		Yes		
Social and cultural aspects	Yes			

7.2. Positive Impacts

Impact Area	Impact
Footfall	Buy local campaigns, incentives to increase footfall in town centres, public buy-in to supporting local schemes
Public safety	Roll out of diversionary activities to reduce anti-social behaviour in our town centres, engaging communities in developing mitigations
Social and cultural aspects	Enhancement of activities through projects such as the Vinery, youth prevention work with CLD and the police, NESCAN and work with the academy continue will enhance cultural heritage and identity through community connectivity projects
Town centre business	Respond to community and business demand for support; working with individuals and organisations within who can act as mentors to build skills, bridge connections between groups within a community and build localised networks and bring together the community, private and public sector anchor organisations in place together.

7.3. Evidence

Туре	Source	It says?	It Means?
Internal Data	Strategic Needs Assessment	Residents would like to see aesthetic improvements to the town	A more appealing location to live, work and socialise.

Туре	Source	It says?	It Means?
External Consultation	Place Standard. Consultation with the public by a community survey	Respondents commented on the state of some empty buildings and facades in the town, they would like more appealing location to live, work and socialise.	Feedback captured to Inform local initiatives
External Consultation	Community Impact Assessment	Ward Forums engagement identified that supporting local businesses is important to people	Local people are keen to support their local retailers and businesses.
Internal Consultation	Town Centre Health Checks	Feedback on local strengths and gaps	Feedback to inform local initiatives
External Consultation	Business Surveys - ongoing	Feedback on local strengths and gaps, along side support needs	Feedback to inform local initiatives

7.4. Overall Outcome

No Negative Impacts Identified.

New initiatives such as shop local incentives will positively impact town centres; priorities and projects of continued relevance from the outgoing locality plans will be carried forward alongside associated regeneration activities carried forward from the outgoing regeneration plans to inform the future iteration of Banff and Buchan Community/Place Plans

8. Action Plan

Planned Action	Details	
Continue to drive project based activities through all Banff and Buchan Community Planning structures, within the Banff and	Lead Officer Repeating Activity Planned Start	Angela Keith No Thursday February 01, 2024
Buchan Community Plan and emerging Place Plan arrangements, and integrating	Planned Finish Expected Outcome	Monday March 31, 2025 Improved outcomes for communities; enhanced partnership working.
and aligning key priorities and project of continued relevance from the outgoing Locality Plans and local regeneration plans.	Resource Implications	All projects delivered within existing partner resources



REPORT TO BANFF AND BUCHAN AREA COMMITTEE 12 MARCH 2024

BANFF AND BUCHAN COASTAL COMMUNITIES FUND 2023/24

1. Executive Summary/Recommendations

The purpose of this report is to (a) update Members on the Coastal Communities funding for 2023/24 from Crown Estate, Marine Scotland funding; and (b) request Members' consideration of an application from the Foyer from the funds for 2023/24.

1.2 The Committee is recommended to:

- 1.2.1 note the 2023/24 Banff and Buchan funding allocation from the Crown Estate has been confirmed as £94,404; and
- 1.2.2 consider the application, as detailed in Appendix 2, submitted by the Foyer, for £10,000 towards the purchase and installation of a grass-roofed storage container for equipment storage from the 2023/2024 allocation and note that, if approved in full, would leave £84,404 to be disbursed by 31 March 2025.

2 Decision-Making Route

- 2.1 In January 2020, the Scottish Government awarded the first tranche of funding from the Scottish Crown Estate (Marine) Coastal Communities Fund to local authorities. Aberdeenshire Council was awarded £328,314 for 2019/2020.
- 2.2 Infrastructure Services Committee, (ISC), at its meeting on 20 August 2020 (Item 11), noted the amount of funding awarded in 2019/20 and 2020/21, and that a further £25,000 was to be awarded to the four Area Committees which had coastal communities. Subsequently the Scottish Government confirmed that local authorities could extend the financial flexibility of this funding to the end of the financial year 2021/22. This flexibility has continued.
- 2.3 At its meeting of 11 October 2022, (Item 8) the Area Committee considered the criteria and funding limits for the Coastal Community Fund, agreeing the increase of grant limit to £25,000, as detailed in Appendix 1.

3. Discussion

- 3.1 The budget allocation for Banff and Buchan for 2023/24, to be spent by 31 March 2025, has been confirmed as £94,404.
- 3.2 The 2023/24 application from the Foyer, attached as Appendix 2, requests consideration of an application for funding of £10,000 towards the provision of

a grass-roofed container, for use as an equipment store by the groups who meet at the Vinery at Banff. This, if approved in full, would leave a balance of 2023/24 monies of £84,404 to be allocated and implemented in 2024/25. It should be noted that any award made would be subject to the Following the Public Pound process, and also that the Foyer, operating as a not-for-profit organisation, has substantial funds in their bank account. They have advised of their Reserves Policy which requires them to have a minimum of three months cash reserves at any time.

The project for which the Coastal Communities Fund is sought was not envisaged in the original concept of public use of the Vinery, so has not been included in any of the Foyer's financial planning to date. The need was identified in the context of the expanding use of the premises by a variety of groups, many of whom have some requirement for access to onsite storage.

4 Council Priorities, Implications and Risk

4.1 The approved application will assist in delivering the Economy Pillar of the Council priorities, as detailed below:

Pillar	Priority	
Our People	Health and Wellbeing	
Our Environment	Resilient Communities	
Our Economy	Economy and Enterprise	

4.2 The table below shows whether risks and implications apply if the recommendations are agreed.

Subject	Yes	No	N/A
Financial	X		
Staffing		X	
Equalities		Х	
Fairer Scotland Duty		Х	
Town Centre First		Х	
Sustainability	х		
Children and Young People's Rights and Wellbeing		Х	

- 4.3 Planned projects may have financial and staffing implications, but the management of the budget will be undertaken within existing Area Management resources.
- 4.4 An IIA (IIA-000323) was carried out as part of developing the framework for the use of Crown Estate funding previously approved by the Infrastructure Services Committee. This assessment identified a positive impact for disability and age-related protected characteristics.

4.5 The following risks have been identified as relevant to this matter on a Corporate Level

ACORP001 – budget pressures – there is a risk that the Scottish Government may not allow the fund to be carried forward to future years.

ACORP005 – working with other organisations (e.g., partnership working).

This will be mitigated by ensuring that all parties are clear on the objectives of the funding and that deliverables and timescales are agreed, and robustly monitored, through the grant/service level agreement process.

The following Risks have been identified as relevant to this matter on a Strategic Level:

ISSR002 – regeneration – action plans depend on how effectively the Development Partnerships engage with the local communities and are able to deliver their vision for each area. Projects included in this tranche of Crown Estate funding will contribute to the delivery of Regeneration Action Plans in Banff, Fraserburgh, Macduff, and Peterhead. In future years, investment through this funding stream in regeneration priorities will continue to be an objective.

5. Scheme of Governance

- 5.1 The Head of Finance and Monitoring Officer within Business Services have been consulted in the preparation of this report. Any comments are incorporated within the report, and they are satisfied that the report complies with the Scheme of Governance and relevant legislation.
- 5.2 The Committee is able to consider this item in terms of Section B.1.1 of the List of Committee Powers in Part 2A of the Scheme of Governance as this is a matter specific to the Banff and Buchan Area which is not otherwise properly delegated to any other Committee.

LAURENCE FINDLAY DIRECTOR OF EDUCATION AND CHILDREN'S SERVICES

Report prepared by: Angela Keith Date: 5 March 2024

Appendix 1 Amended Criteria October 2022

Appendix 2 2023/24 Application for Consideration – The Foyer

APPENDIX 1

Criteria for the Banff and Buchan Coastal Communities Fund

Fund Eligibility:

- The site of the project or the community is within one mile of Aberdeenshire's coastline.
- Eligible settlements are; Sandend, Fordyce, Portsoy, Whitehills, Boyndie, Banff, Macduff, Gardenstown, Crovie, Pennan, New Aberdour, Rosehearty, Sandhaven, Fraserburgh and Inverallochy/Cairnbulg.
- As **sites** are specifically included, it is possible that applications will be received for projects taking place at coastal locations outwith any settlement.
- Such applications may come from groups or organisations representing communities
 of interest as well as of place (for example wildlife or environmental, arts or wellbeing groups).
- Projects must be led by public or third sector parties and have a tangible link to the coast and/or the sea.

This is subjective but, for example, it has been indicated that town centre public realm improvements will not be eligible unless they can be demonstrated to improve access to the foreshore, beach or harbour.

Examples of what is meant by a tangible link to the coast or sea are:

- > Projects that help people to develop skills related to coastal or seafaring pursuits, activities or enterprises, for example sailing, fishing or boatbuilding
- > Projects that celebrate the heritage of coastal and seagoing communities of place and interest. For example, a coastal or fishing village or township, historic boatbuilding, or relevant clubs or organisations
- > Projects that improve access to coastal areas. For example, paths and viewpoints
- > Projects that improve the coastal environment. For example, applications to establish and support community groups looking after their coastline
- > Projects that improve community-controlled infrastructure such as harbours, boathouses and buildings.
- Projects must contribute to at least one of Aberdeenshire Council's priorities:

Pillar	Priority
Our People	Health and Wellbeing
Our Environment	Resilient Communities
Our Economy	Economy and Enterprise

- Grants must be a minimum of £1,000 and a maximum of £25,000.
- There must be a minimum of 10% match funding, which can be in-kind. Funding of up to 90% of projects will support deliverability within the timescale.
- Applications from organisations with an annual turnover of more than £250,000 will not be considered.
- Funding for core activities such as staffing, and overheads will not be eligible.
- Applicants will be required to submit a copy of their most recent, independently examined set of accounts, including their current bank balance and any funds therein which have been ringfenced for other projects.
- Applicants will be required to provide information on related funding applications, whether they have been successful and, if so, how much funding they have received.
- Groups require to be properly constituted and submit a copy of their Constitution or Memorandum and Articles.
- Applications which are solely or substantially for individual benefit will not be considered.
- Groups must be able to give an assurance that they will be able to complete their projects and have receipts submitted in time for the end of the financial year (31st March).
- Payment will be made retrospectively on receipt of invoices or other confirmation that
 the money has been spent in accordance with the proposals applied for. Payment will
 be made by BACS transfer to a group's bank account.
- The use of the budget or project must not commit the Council to recurring expenditure or maintenance.



BANFF AND BUCHAN AREA COMMITTEE COASTAL COMMUNITIES FUND (Grants between £1000 and £25000) Application for Assistance

Name of organisation:	Aberdeen Foyer
Contact name:	Brenda Young
Position in organisation:	Funding Manager
Address (including postcode):	Marywell Centre, Marywell Street, Aberdeen AB11 6JF
Telephone number:	07944057437
Email:	Brenda,young@aberdeenfoyer.com

Applicants are encouraged to discuss their project with the Banff and Buchan Area Manager prior to submitting the application form.

Tell us about your group's aims and purposes (include details of your membership and evidence that the organisation has the right level of resources, skills, and capacity to deliver the project):

Organisation Overview Aberdeen Foyer exists to create positive and lasting change, working alongside 1600+ people every year who are experiencing tough life challenges and the wider system, to address and prevent the root causes of poverty and youth homelessness across local communities in Aberdeen and Aberdeenshire. Our vision is for people to thrive, feel connected and included in their community, where everyone has a safe, decent place to call home and access to resources to live a good life. Our mission every day is to support people to discover their potential, overcome challenges, and build their own positive future. We believe there is no limit to what people can achieve in their lives.

Our way of working: We serve and work alongside young people from age 12-25 and adults of all working ages living in Aberdeen and Aberdeenshire who are experiencing tough life situations that make it difficult to achieve a good life and a positive future.

We have **100+** staff who have a wide range of skills, qualifications and the experience required to reach and engage with individuals who are facing multiple and complex barriers to achieving their full potential, including early disengagement with education, long term unemployment, poverty (including in work poverty), isolation, long term mental health conditions, substance dependency, past or ongoing trauma. We work in close partnership with CAB, Job Centre, the local Health and Social Care Partnerships, Community Learning and Development and other third sector organisations, community and faith groups so we have a wide reach in terms of engagement. We are a well-established, trusted part of the local community in Banff, delivering personal development and employability programmes, counselling, housing support, digital skills support and financial inclusion programmes.

Grow @ The Vinery Summary As a result of the favourable responses to the Common Good Consultation in 2021, the Banff and Buchan Area Committee approved a 25-year lease agreement with Aberdeen Foyer for the establishment of a community project at The Vinery. The Grow @ The Vinery project provides employment support programmes including a range of skills provision i.e. basic, life, sector-based, and career skills, as well as activities such as enrichment and volunteering to improve opportunities and promote well-being. The project enables a wider family approach through the wrap-around services offered by Foyer and partners to parents, carers, siblings, etc. It also provides opportunities for greater partnership working by bringing together statutory services, third sector, and private sector with increased understanding of the needs within the community.

The project aims to empower individuals and communities by providing them with the opportunity to gain the skills required to sustain long-term employment. It also aims to create a ripple effect of awareness and positive action by encouraging individuals and communities to grow their own food and share resources. Ultimately, the project seeks to establish a legacy of community resilience.

To date we have:

- Recruited 11 members of staff
- Registered 30 volunteers
- Facilitated community consultation events to co-design service delivery
- Developed and delivered a time table of services including art, crafts, cooking, wellbeing, physical activity, gardening, IT, Financial Inclusion and accredited learning, CV and employability support, support for self employment and the development of entrepreneurial opportunities.
- Welcomed, on average, 500 visitors to The Vinery each month.

The Vinery team has been strategically structured, including Team Lead, Volunteer Coordinator, Hospitality Training Lead, Landscape and Horticulture Training Lead and Community & Business Engagement Coordinator.

Tell us what would you like to do and describe the need and support for the project? Include an explanation of how your project will be sustained in the future and also how any risks will be managed (e.g. shortfalls in funding).

You must include the site or location of your project.

Location The Vinery, Airlie Gardens, Banff AB45 1AZ

Aberdeen Foyer would like to have use of a container to securely store equipment in a watertight, safe environment on site. Many community groups have use of the Vinery space and each group will have different resources that requires space to keep their equipment safe and useable.

When the Vinery was originally developed, the consideration for physical storage requirements was underestimated. The need for storage space has emerged gradually due to the evolving demands of user groups.

In the initial development phase, the emphasis was on the functional and feature aspects of the Vinery, without adequate anticipation of the amount of physical storage space required. As the wide variety of user groups began to use the Vinery, generating and accumulating resources over time, the necessity for physical storage became apparent.

This unanticipated growth in resources and need for activity space necessitates additional physical storage unit to accommodate the increasing volume of materials. The evolving storage needs are a consequence of the changing usage patterns and requirements of the Vinery and its user base. Adjustments and expansions in physical storage are now essential to meet the evolving demands of user groups.

We want to ensure that the container is in keeping with the beautiful surroundings and we plan to make sure that it looks nice and well kept. To do this we propose to clad the outside of the container to make it more pleasing on the eye. We will use materials that are eco-friendly and have a low carbon footprint. To give you an idea, here's an example:



To keep with the community garden and add an element of bio-diversity, a living roof will also be added.



This resource will additionally serve as a workshop space for Vinery participants, empowering them to craft items for sale, thus enhancing their skills and contributing to the Vinery project's sustainability.

Aberdeen Foyer has obtained planning permission for this unit and will provide quotes to ensure value for money.

Additional Information Regarding Accounts - As per our Reserves Policy we are required to have minimum of three months cash reserves at any time.

Risk	Impact (What is the effect of the risk on project delivery?)	Mitigation (How will you ensure that these risks are managed?)
Increase in project costs	Unforeseen circumstances or market fluctuations may lead to an increase in project costs.	Robust financial monitoring systems in place. All projects have allocated budget. Budget responsibilities sit with Team Leader and are overseen by Leadership Team. Budget reports are required monthly to Finance Manager All spending in relation to project must be approved by two signatories.
Availability and capacity of contractors	Limited availability or capacity of contractors could lead to delays in project timelines.	Engage with contractors early in the planning phase to secure commitments and assess their capacity. Identify and maintain relationships with alternative contractors to address potential availability issues. Develop a flexible project schedule that accommodates potential delays due to contractor availability.
Availability of materials	Shortages or delays in the availability of materials may impact construction timelines.	Cultivate strong relationships with reliable suppliers and secure commitments for timely material delivery. Avoid reliance on a single supplier; diversify sources to reduce the risk of material shortages.

Maintain an inventory buffer for critical materials to mitigate the impact of unexpected shortages.

Please explain how your project has to tangible link to the coast and/or the sea and how it will deliver positive benefits including leverage of investment, economic growth, regeneration and rural or community development:

This strategic purchase will support the ongoing delivery of education, training and employability programmes tailored to creating local opportunities for young people to thrive in coastal communities such as Banff and Macduff. These young people experience a unique set of challenges with a combination of the decline in core industry and their geographical location i.e. being on the periphery of the country places them on the periphery of the economy. Transportation is a huge challenge for coastal communities. In Banff/Macduff there is a high incidence of young people living in low-income homes where there is no car ownership. The bus services to physical centres of learning in Fraserburgh or Aberdeen are poor and expensive.

In 2022 the number of young people (16 – 19yrs) participating in education, training or employment was third lowest in Banff and District Ward (only marginally behind Peterhead and Fraserburgh), with lowest being Macduff (86.7%) Aberchirder and Whitehills (89.5%)

Finding the right local employment and learning opportunities is vital in mitigating the risk to young people's longer-term prospects and positive futures.

Through our links with local employers and employer engagement, the Vinery ensures onsite learning and training opportunities which reflect the needs of the local labour market and supports local industry, thereby creating opportunities for young people who might otherwise move away to improve their life chances.

Being a member of Aberdeen Renewable Energy Group (AREG) enables us to support local renewable projects and tailor training and employability support to the renewable energy sector, thereby increasing opportunities to support the local economy and promote growth.

This project also works alongside Banff Academy to maximise opportunities for Foundation Apprenticeships. This collaboration reinforces our commitment to fostering the growth and development of the next generation through practical and industry-relevant learning experiences

What is the total project cost? (The cost of everything related to your project, even the items or activities you aren't asking us to fund)

£15,090

Please tell us the costs of each item or activity you would like us to fund:				
Item/Activity Total Cost Amount Request from Coastal Communities G				
Shipping container with refurb and delivery costs	£15,090 including VAT	£10,000		
Total	£15,090	£10,000		

Total funds raised to date and the a	mounts raised	(including grants,	your own
fundraising activities and donations	s):		

Source	Amount	Date confirmed
Cash donations	£2000	05/02/2024
Foyer match	£3090	05/02/2024
Total	£5090	

Other funding applied for (give details of the amount(s) and source(s) as appropriate – in particular Aberdeenshire Council sources):

Source	Amount	Date confirmed
n/a		
Total		

Will your project be completed by 31st March 2025?	Yes		
If you answered no, can your project be delivered in phases and if so please explain how this can be done?			
N/A			

Aberdeenshire Council Priorities		
Tick the Council Priorities your project helps to deliver? (you must tick at least one)		
A strong, sustainable, diverse and successful economy	\checkmark	
Have the best possible transport and digital links across our communities		
Provide the best life chances for all our children and young people by raising levels of attainment and achievement		
Work with parents and carers to support children through every stage of their development		
Encourage active lifestyles and promote well-being with a focus on obesity & mental health	$\sqrt{}$	
Have the right mix of housing across all of Aberdeenshire		
Support the delivery of the Health & Social Care Strategic Plan	√	
Work to reduce poverty and inequalities within our communities	\checkmark	
Deliver responsible, long-term financial planning		
Have the right people, in the right place, doing the right thing, at the right time	√	
Protect our special environment, including tackling climate change by reducing greenhouse gas emissions	V	

Give details of how your project meets the requirements of the Equality Act 2010 ensuring that it will be inclusive and not discriminate against any members of your community:

Grow @ The Vinery is designed to be inclusive and comply with the requirements of the Equality Act 2010. Here are details of how the project ensures inclusivity and non-discrimination:

Target Audience:

- The project serves a diverse range of individuals, including young people aged 12-25 and adults of all working ages, living in the local community
- Services are tailored to address the needs of individuals facing multiple and complex barriers such as early disengagement with education, long-term unemployment, poverty, isolation, mental health conditions, substance dependency, and past or ongoing trauma.

Partnerships and Collaboration:

- Aberdeen Foyer collaborates with various organisations, including CAB, Job Centre, Health and Social Care Partnerships, Community Learning and Development, and third-sector organisations.
- This collaborative approach ensures a wide reach and engagement, making the project accessible to diverse communities.

Community Consultation:

- The project involves community consultation events to co-design service delivery. This ensures that the services provided are reflective of the needs and preferences of the community.
- By actively involving the community in decision-making, the project addresses specific challenges and preferences of various community members.

Wide Range of Services:

- The project offers a diverse range of services, including art, crafts, cooking, wellbeing, physical activity, gardening, IT, financial inclusion, and accredited learning.
- These services cater to different interests and abilities, making them accessible to a broad spectrum of individuals.

Staff Diversity and Skills:

- The project employs a team with a wide range of skills, qualifications, and experiences.
- The diverse staff composition allows for better understanding and engagement with individuals facing different challenges, promoting inclusivity.

Volunteer Engagement:

- The project has registered 30+ volunteers, indicating a commitment to involving the community actively in its initiatives.
- Volunteering opportunities provide a platform for individuals from various backgrounds to contribute and engage with the project.

Accessible Location:

• The Vinery is located in Banff, making it accessible to the local community. The central location enhances participation from different demographic groups.

Employment Support and Skill Development:

 The employment support programmes and skill development initiatives aim to empower individuals to sustain long-term employment, irrespective of their background or circumstances.

Workshop Space and Craft for Sale:

 The inclusion of a workshop space for participants to craft items for sale contributes to the sustainability of the project while enhancing the skills of participants from diverse backgrounds.

Applicant Declaration:

I certify that the information contained in this application is correct, and that I am authorised to make the application on behalf of the above group. I understand that decisions made by the Banff and Buchan Area Committee are final.

Name	Brenda Young
(Please print)	
Signature	Redacted
Date	05/02/2024

Checklist – please attach the following items:

Constitution or Memorandum & Articles of Association	• √
Your most recent verified accounts	• √
Two most recent bank statements	• √
Quotes/specifications	• √

The application should be emailed to - <u>banffandbuchanamo@aberdeenshire.gov.uk</u>

Please note that successful applicants will require to provide a short report on the project by no later than 31^{st} March 2025.